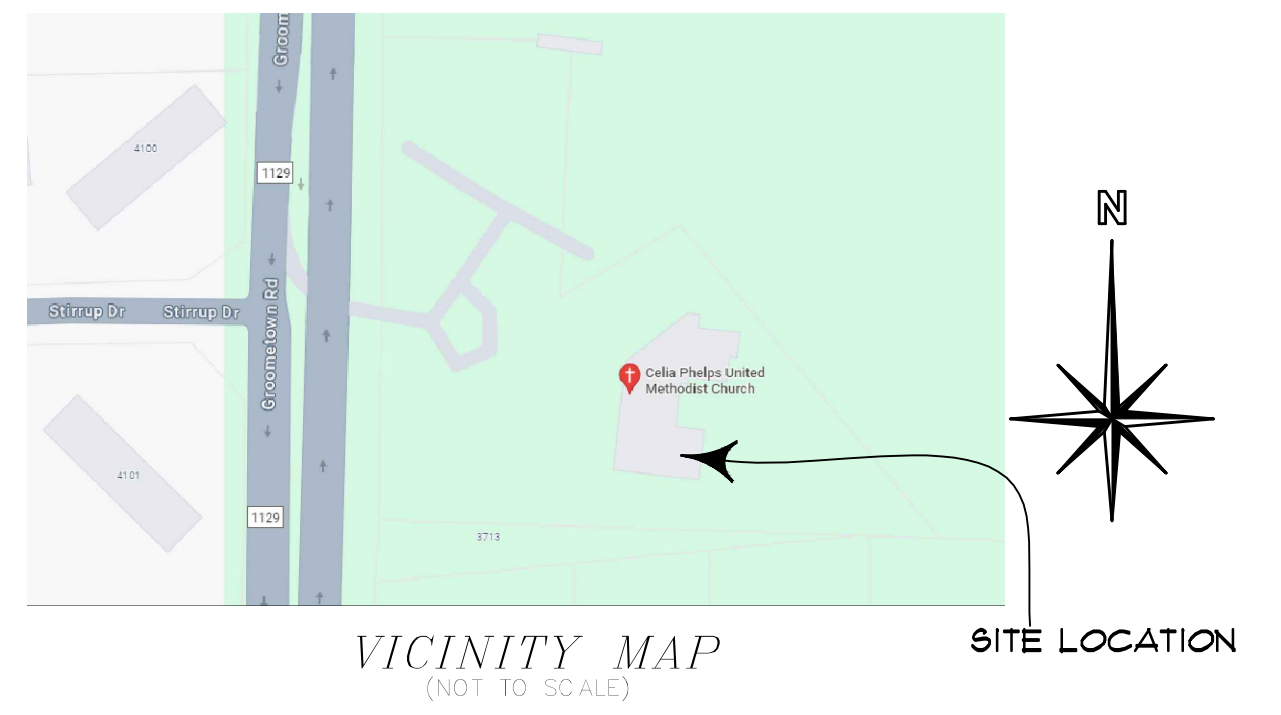


THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ARCHITECT... VIOLATORS SUBJECT TO LEGAL ACTION

RENOVATIONS TO CELIA PHELPS UNITED METHODIST CHURCH

3709 GROOMETOWN RD. GREENSBORO, NORTH CAROLINA 27407



SCHEDULE OF DRAWINGS

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

DIVISIONS	SHT. NO.	DESCRIPTIONS
COVER SHEET	COV-1	COVER SHEET, SCHEDULE OF DRAWINGS, BUILDING CODE SUMMARY
SITE	SP-0	TOPOGRAPHIC SURVEY / EXISTING SITE PLAN
	SP-1	DEMOLITION SITE PLAN
	SP-2	PROPOSED SITE PLAN
	SP-3	NEW H/C SIGN, DUMPSTER PAD, ELEVATION AND SECTION NEW H/C RAMP, SECTIONS AND DETAILS
LANDSCAPE	L-1	LANDSCAPE PLAN
	L-2	LANDSCAPE DETAILS
ARCHITECTURAL	A-1	EXISTING / DEMOLITION PLAN PROPOSED FLOOR PLAN
	A-2	BUILDING ELEVATIONS
	A-3	BUILDING SECTIONS, WALL SECTION, AND DETAILS
	A-4	ROOF PLAN, ROOF FRAMING PLAN, TRUSSES AND DETAILS
	A-5	DETAIL SECTIONS
	A-6	INTERIOR ELEVATIONS
	A-7	INTERIOR ELEVATIONS AND SECTIONS
	A-8	DOOR WINDOW AND FRAME ELEVATIONS, DOOR FRAME AND HARDWARE SCHEDULE, ROOM FINISH SCHEDULE AND BOARD SCHEDULE AND SECTIONS
LIFE SAFETY	LS-1	LIFE SAFETY PLAN
PLUMBING	P-0	NOTES
	P-1	SCHEDULES
	P-2	DEMOLITION PLAN
	P-3	SANITARY PLAN
MECHANICAL	M-1	NOTES
	M-2	SCHEDULES
	M-3	MECHANICAL PLAN
	M-4	SECTIONS
ELECTRICAL	EI-01	POWER PLAN
	EI-02	POWER PLAN
	EI-03	LIGHTING PLAN

Name of Project: **RENOVATIONS TO CELIA PHELPS UMC** Zip Code: **27407**
 Address: **3709 GROOMETOWN RD. GREENSBORO, NC**
 Owner/Authorized Agent: **CLINTON E. GRAVELLY, AIA** Phone: **(336) 275-6183** E-Mail: **info@cegravellyarchitect.com**
 Owned By: City/County Private State
 Code Enforcement: City County State
 Jurisdiction: _____

CONTACT: **CLINTON E. GRAVELLY, AIA**
 DESIGNER: _____ FIRM: _____ NAME: _____ LICENSE #: _____ TELEPHONE #: _____ E-MAIL: _____

Architectural: **CLINTON E. GRAVELLY, AIA ARCHITECT ASSOCIATES ARCHITECTS PLANNERS** CLINTON E. GRAVELLY / 16071 (336) 275-6183 info@cegravellyarchitect.com
 Civil: **CLINTON E. GRAVELLY, AIA ARCHITECT ASSOCIATES ARCHITECTS PLANNERS** CLINTON E. GRAVELLY / 16071 (336) 275-6183 info@cegravellyarchitect.com
 Electrical: **R. C. FITCHARD ENGINEERING SERVICES** CRAIG FITCHARD / 18089 (336) 382-3831 rcfitchard@rcfes.com
 Fire Alarm: **R. C. FITCHARD ENGINEERING SERVICES** CRAIG FITCHARD / 18089 (336) 382-3831 rcfitchard@rcfes.com
 Plumbing: **R. C. FITCHARD ENGINEERING SERVICES** CRAIG FITCHARD / 18089 (336) 382-3831 rcfitchard@rcfes.com
 Mechanical: **R. C. FITCHARD ENGINEERING SERVICES** CRAIG FITCHARD / 18089 (336) 382-3831 rcfitchard@rcfes.com
 Sprinkler-Standpipes: _____
 Structural: _____
 Raising Walls > 5 High: _____
 Other: _____
 (Other should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building Addition Renovation
 List Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: Prescriptive Repair Chapter 14 Alteration Level I Level II Level III Historic Property Change of Use

CONSTRUCTED: (date) _____ CURRENT OCCUPANCY(S) (Ch. 3): _____ RELIGIOUS WORSHIP _____
 RENOVATED: (date) _____ PROPOSED OCCUPANCY(S) (Ch. 3): _____ RELIGIOUS WORSHIP _____

RISK CATEGORY (Table 1604.5): Current: I II III IV Proposed: I II III IV

BASIC BUILDING DATA
 Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
 (check all that apply)
 Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13B
 Standpipes: No Yes Class I Class II Class III Class IV Class V
 Fire Districts: No Yes Flood Hazard Area: No Yes
 Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Ground Building Area Table

FLOOR	EXISTING (SQ FT)	PROPOSED (GROSS AREA)
3rd Floor		
2nd Floor		
Mezzanine		
1st Floor	39201	39201
Basement		
TOTAL		

ALLOWABLE AREA
 Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HFH
 Institutional I-1 Condition I-2
 I-3 Condition I-4
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s): _____
 Incidental Uses (Table 509): _____
 Special Uses (Chapter 4 - List Code Sections): _____
 Special Provisions: (Chapter 5 - List Code Sections): _____
 Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A: _____ Actual Area of Occupancy B: _____
 Allowable Area of Occupancy A: _____ Allowable Area of Occupancy B: _____

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION (FEET)	RATINGS	REQUIREMENTS	DESIGN FOR PENETRATION ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	0	3A 4A				
Beating Walls	0					
Exterior						
North						
East						
South						
West						
Interior	0					
Nonbearing Walls and Partitions						
Exterior walls						
North						
East						
West						
South						
Interior walls and partitions	0					
Floor construction including supporting beams and joists	0					
Floor Ceiling Assembly						
Column Supporting Floor						
Roof Construction including supporting beams and joists	0					
Roof Ceiling Assembly						
Column Supporting Roof						
Shaft Enclosures - Exit						
Shaft Enclosures - Other						
Corridor Separation	1HR					
Occupancy/Fire Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Temper-Clearing Unit						
Sleeping Unit Separation						
Incidental Use Separation						

0 - Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Partial Yes
 Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet: **LS-1**

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy use for each area as it relates to occupant load calculation (Table 1004.12)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2) & 1006.3(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1008.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupant separation
 Location of doors with panic hardware (1010.10)
 Location of doors with delayed egress locks and the amount of delay (1010.15.1)
 Location of doors with electromagnetic egress locks (1010.15.5)
 Location of emergency escape windows (1020.2)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above.

ACCESSIBLE DWELLING UNITS (ADA) (SECTION 107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE SPACES PROVIDED
	30	32		3
TOTAL				

PLUMBING FIXTURE REQUIREMENTS (TABLE 2909.2)

USE	WATER CLOSET	URINALS	WASHSINKS	SINKS	DRINKING WATER
MALE					
FEMALE					
UNSEX					
TOTAL PROVIDED					
NEW					

SPECIAL APPROVALS
 Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHS, etc. describe below)

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design and annual energy cost for the proposed design.
 Existing building envelope complies with code: No Yes (the remainder of this section is not applicable)
 Exempt Building: No Yes (Provide code or statutory reference): _____
 Climate Zone: 3A 4A 5A
 Method of Compliance: Energy Code Performance Prescriptive
 ASHRAE 90.1 Performance Prescriptive
 (If "Other" specify source here: _____)

ENERGY SUMMARY

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)

DESCRIPTION OF ASSEMBLY	U-VALUE OF TOTAL ASSEMBLY	R-VALUE OF INSULATION	U-VALUE OF SKYLIGHTS	total square footage of skylights in each assembly
ROOF TRUSS / FIBERGLASS SHINGLES 5/8" TYPE-X DRYWALL	0.42	NA	NA	NA

Exterior Walls (each assembly)

DESCRIPTION OF ASSEMBLY	U-VALUE OF TOTAL ASSEMBLY	R-VALUE OF INSULATION	U-VALUE OF SKYLIGHTS	total square footage of skylights in each assembly
BRICK VENEER / 5/8" TYPE-X DRYWALL	0.15	NA	NA	NA

Walls below grade (each assembly)

DESCRIPTION OF ASSEMBLY	U-VALUE OF TOTAL ASSEMBLY	R-VALUE OF INSULATION
N/A	N/A	N/A

Floors over unconditioned space (each assembly)

DESCRIPTION OF ASSEMBLY	U-VALUE OF TOTAL ASSEMBLY	R-VALUE OF INSULATION
N/A	N/A	N/A

Floors slab on grade

DESCRIPTION OF ASSEMBLY	U-VALUE OF TOTAL ASSEMBLY	R-VALUE OF INSULATION	Horizontal/vertical requirement
EXIST. 4" CONC. SLAB ON GRADE	0.12	8	NO

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (STRUCTURAL DESIGN)
 (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
 Importance Factors: Wind (W) _____ Snow (S) _____ Seismic (E) _____
 Live Loads: Roof **20** psf Mezzanine _____ Floor **60** psf
 Ground Snow Load: **5** psf
 Wind Load: Basic Wind Speed **90** mph (ASCE-7) Exposure Category **B** Wind Base Shear/For MURS) Vx _____ Vy _____

SEISMIC DESIGN CATEGORY: A B C D
 Provide the following Seismic Design Parameters:
 Occupancy Category (Table 1604.5) I II III IV
 Spectral Response Acceleration Sa **0.3** %g Sd **0.2** %g
 Site Classification (Table 1613.5) A B C D E F
 Data Source: Field Test Prescriptive Historical Data
 Basic structural system: Bearing Wall Dual w/Special Moment Frame Building Frame Dual w/Immediate R/C or Special Steel Moment Frame Inverted Pendulum
 Seismic Base Shear: Vx _____ Vy _____
 Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) **N/A** psf
 Presumptive Bearing Capacity **1000** psf
 File size, type, and capacity _____

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (MECHANICAL DESIGN)
 (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
 winter dry bulb: _____
 summer dry bulb: _____

Interior design conditions
 winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____

Building heating load: _____
Building cooling load: _____

Mechanical Spacing Conditioning System
 Unitary
 description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____
 Boiler
 size category, if oversized, state reason: _____
 Chiller
 size category, if oversized, state reason: _____

List equipment efficiencies: _____

STORY NO.	DESCRIPTION AND USE	(A) FLD AREA PER STORY (ACTUAL)	(B) AREA INCREASE ¹	(C) AREA FOR FRONTAGE INCREASE ²	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ³
1	A-3	3920	6000	-	-

1 Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width + _____ (F)
 b. Total Building Perimeter _____ (FP)
 c. Ratio (F/FP) + _____ (F/FP)
 d. W + Minimum width of public way + _____ (W)
 e. Percent of frontage increase if + 100(F/FP) - 0.25% x W/30 + _____ (%)
 2 Unlimited area applicable under conditions of Section 507.
 3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
 4 The maximum area of open parking garages must comply with Table 406.5.4.
 5 Frontage increase is based on the un-sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

BUILDING HEIGHT IN FEET (TABLE 504.3.2)	ALLOWABLE UNEX	CODE REFERENCE 1
40	5	
Building Height in Stories (Table 504.4.3)	1	1

1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
 2 The maximum height of air traffic control towers must comply with Table 412.3.
 3 The maximum height of open parking garages must comply with Table 406.5.4.

REVISIONS

DATE	DESCRIPTION

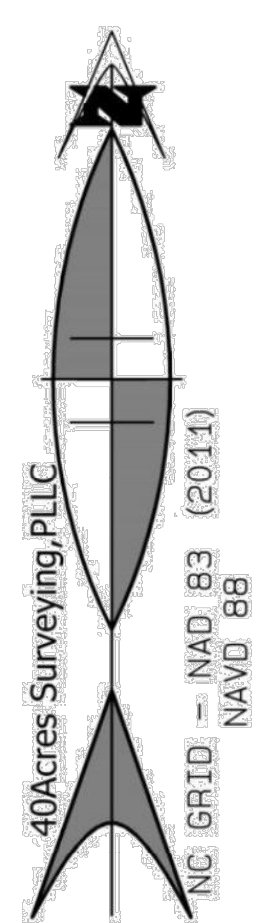
JOB NO. G-945
 DATE APRIL, 2024
 DRAWN BY
 CHECKED BY

RENOVATIONS
 CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH
 3709 Groometown Rd.,
 Greensboro, NC 27407

CLINTON E. GRAVELLY AIA
 ARCHITECT / ASSOCIATES
 ARCHITECTS PLANNERS
 324 WEST WENDOVER AVENUE SUIT #1
 GREENSBORO, NORTH CAROLINA 27408
 (336) 275-6183
 FAX (336) 275-6885
 E-MAIL ADDRESS info@cegravellyarchitect.com

SHEET
COV-1
 OF
 1

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GROOMETOWN ROAD
(NCSR #1129 RIGHT OF WAY VARIES
PER COG DRAWINGS G429E & G)
LOCAL THROUGHFARE

STIRRUP DRIVE
(NCSR# 1442 60' RIGHT OF WAY
PER P.B. 112 PG. 126)



40 ACRES SURVEYING, PLLC
(FIRM # P-2601)
WWW.40acressurvey.com
info@40acressurvey.com
(336)485-5440
Greensboro, North Carolina

TYPE	JOB NO.	T22-001
BOUNDARY X ROUTE	SURVEYED BY:	DARRYL MCCALL
TOPOGRAPHIC X SITE	DRAWN	12/01/2022
	DRAWN BY:	DARRYL MCCALL

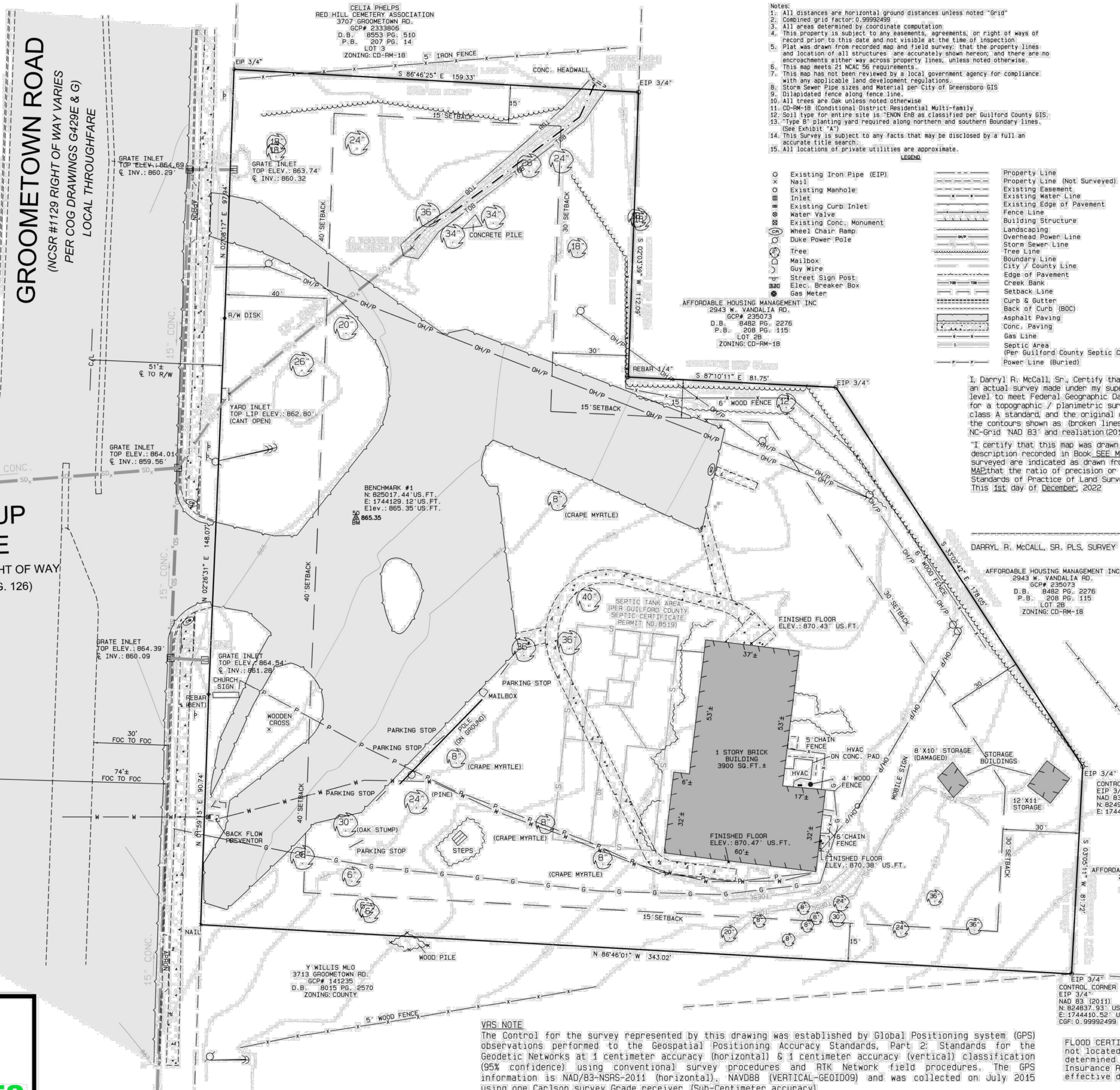
SCALE: 1"=20'

VRS NOTE

The Control for the survey represented by this drawing was established by Global Positioning system (GPS) observations performed to the Geospatial Positioning Accuracy Standards, Part 2: Standards for the Geodetic Networks at 1 centimeter accuracy (horizontal) & 1 centimeter accuracy (vertical) classification (95% confidence) using conventional survey procedures and RTK Network field procedures. The GPS information is: NAD/83-NSRS-2011 (horizontal), NAVD88 (VERTICAL-GEOID09) and was collected on July 2015 using one Carlson Survey Grade receiver (Sub-Centimeter accuracy)

SCALE: 1"=20'

**TOPOGRAPHIC SURVEY/
EXISTING SITE PLAN**
SCALE: 1" = 20'-0"



- Notes:**
- All distances are horizontal ground distances unless noted "Grid"
 - Combined grid factor: 0.99992499
 - All areas determined by coordinate computation
 - This property is subject to any assessments, agreements, or right of ways of record prior to this date and not visible at the time of inspection
 - Plat was drawn from recorded map and field survey; that the property lines and location of all structures are accurately shown hereon, and there are no encroachments either way across property lines, unless noted otherwise.
 - This map meets 21 NCAC 56 requirements
 - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
 - Storm Sewer Pipe sizes and Material per City of Greensboro GIS
 - Dislabeled fence along fence line.
 - All trees are Oak unless noted otherwise
 - CD-RM-18 (Conditional District Residential Multi-Family)
 - Soil type for entire site is "DN End as classified per Guilford County GIS"
 - "Type B" planting yard required along northern and southern boundary lines. (See Exhibit "A")
 - This Survey is subject to any facts that may be disclosed by a full an accurate title search.
 - All locations of private utilities are approximate.

LEGEND

○	Existing Iron Pipe (EIP)	—	Property Line
○	Nail	---	Property Line (Not Surveyed)
○	Existing Manhole	---	Existing Easement
○	Inlet	---	Existing Water Line
○	Existing Curb Inlet	---	Existing Edge of Pavement
○	Water Valve	---	Fence Line
○	Existing Conc. Monument	---	Building Structure
○	Wheel Chair Ramp	---	Landscaping
○	Duke Power Pole	---	Overhead Power Line
○	Tree	---	Storm Sewer Line
○	Mailbox	---	Tree Line
○	Guy Wire	---	Boundary Line
○	Street Sign Post	---	City / County Line
○	Elec. Breaker Box	---	Edge of Pavement
○	Gas Meter	---	Creek Bank
○		---	Setback Line
○		---	Curb & Gutter
○		---	Back of Curb (BOC)
○		---	Asphalt Paving
○		---	Conc. Paving
○		---	Gas Line
○		---	Septic Area (Per Guilford County Septic Certificate)
○		---	Power Line (Buried)

I, Darryl R. McCall, Sr., Certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 95 percent confidence level to meet Federal Geographic Data Committee Standards; that this survey was performed to meet the requirements for a topographic / planimetric survey to the accuracy of Class A and vertical accuracy when applicable to the class A standard, and the original data was obtained on 06/30/2015; that the survey was completed on 11/29/2022; the contours shown as (broken lines) may not meet stated standard; and all coordinates are based on NC-Grid "NAD 83" and realization (2011) and all elevations are based on NAVD 88.

I certify that this map was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book SEE MAP, page SEE MAP, or other reference source SEE MAP); that the boundaries not surveyed are indicated as drawn from information in Book SEE MAP, page SEE MAP or other reference source SEE MAP; that the ratio of precision or positional accuracy is 1:10,000; and that this map meet the requirements of The Standards of Practice of Land Surveying in North Carolina (21 NCAC 56-1600)

This 1st day of December, 2022

DARRYL R. MCCALL, SR., PLS, SURVEY LICENSE # L-5468

AFFORDABLE HOUSING MANAGEMENT INC.
2943 W. VANDALIA RD.
GCP# 235073
D.B. 8482 PG. 2276
P.B. 208 PG. 115
LOT 28
ZONING: CD-RM-18

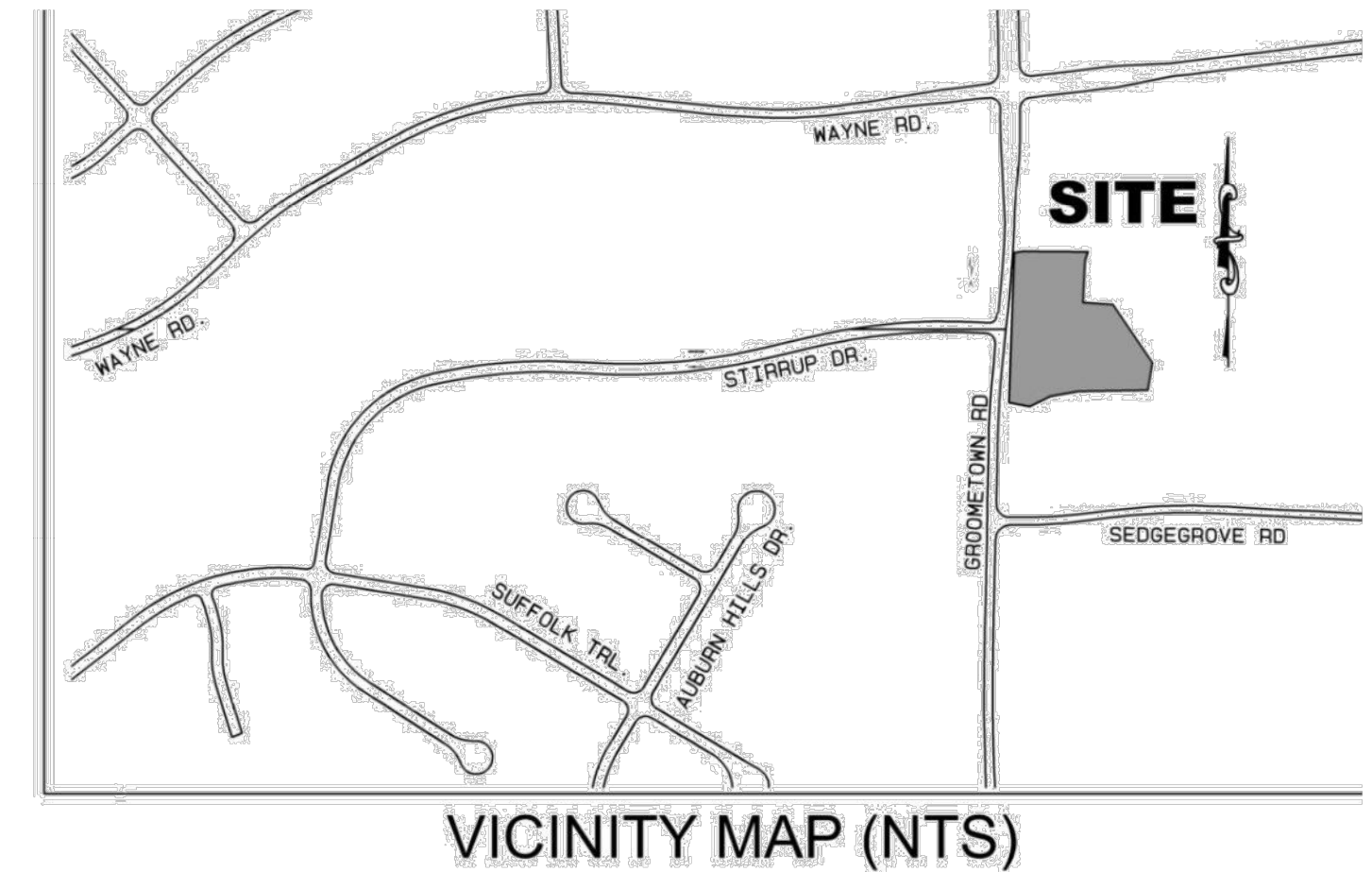


SETBACKS

FRONT	40"
SIDE	15"
REAR	30"

PARCEL AREA
87,887 SQ.FT. ± = 2.017 ACRES ±

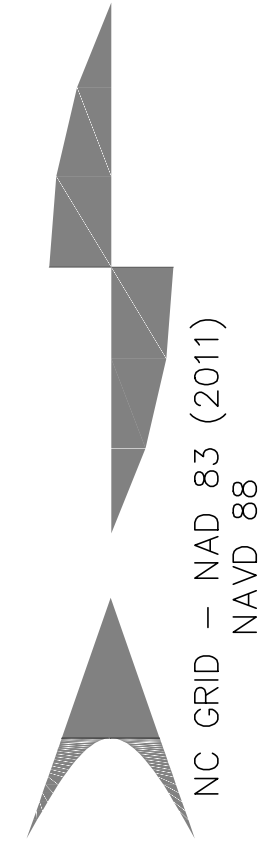
**TOPOGRAPHIC SURVEY MAP FOR
CELIA PHELPS MEMORIAL
UNITED METHODIST CHURCH
3709 GROOMETOWN ROAD
SUMNER TOWNSHIP
GUILFORD COUNTY
GREENSBORO, NC
DEED REFERENCE:
DEED BOOK 7623 PG. 1203
ZONE: COUNTY (RS-40)**



VICINITY MAP (NTS)

JOB NO. G-945	DATE	REVISIONS
	DATE SEPTEMBER 2023	
DRAWN BY	CHECKED BY	
<p>CELIA PHELPS MEMORIAL UMC RENOVATIONS 3709 Groometown Rd, Greensboro, NORTH CAROLINA</p>		
<p>CLINTON E. GRAVELY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS 1336-275-683 SUITE B GRAVELY BUILDING 600 BANNER AVENUE GREENSBORO, NORTH CAROLINA 27407-4388 FAX (336) 275-6885 E-MAIL ADDRESS: CGRAVELY@BELL.SOUTHNET</p>		
<p>SHEET SP-0 OF 4</p>		

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NC GRID - NAD 83 (2011)
NAVD 88

GROOMETOWN ROAD
(NCSR #129 RIGHT OF WAY VARIES
PER COG DRAWINGS G429E & G)
LOCAL THROUGHFARE

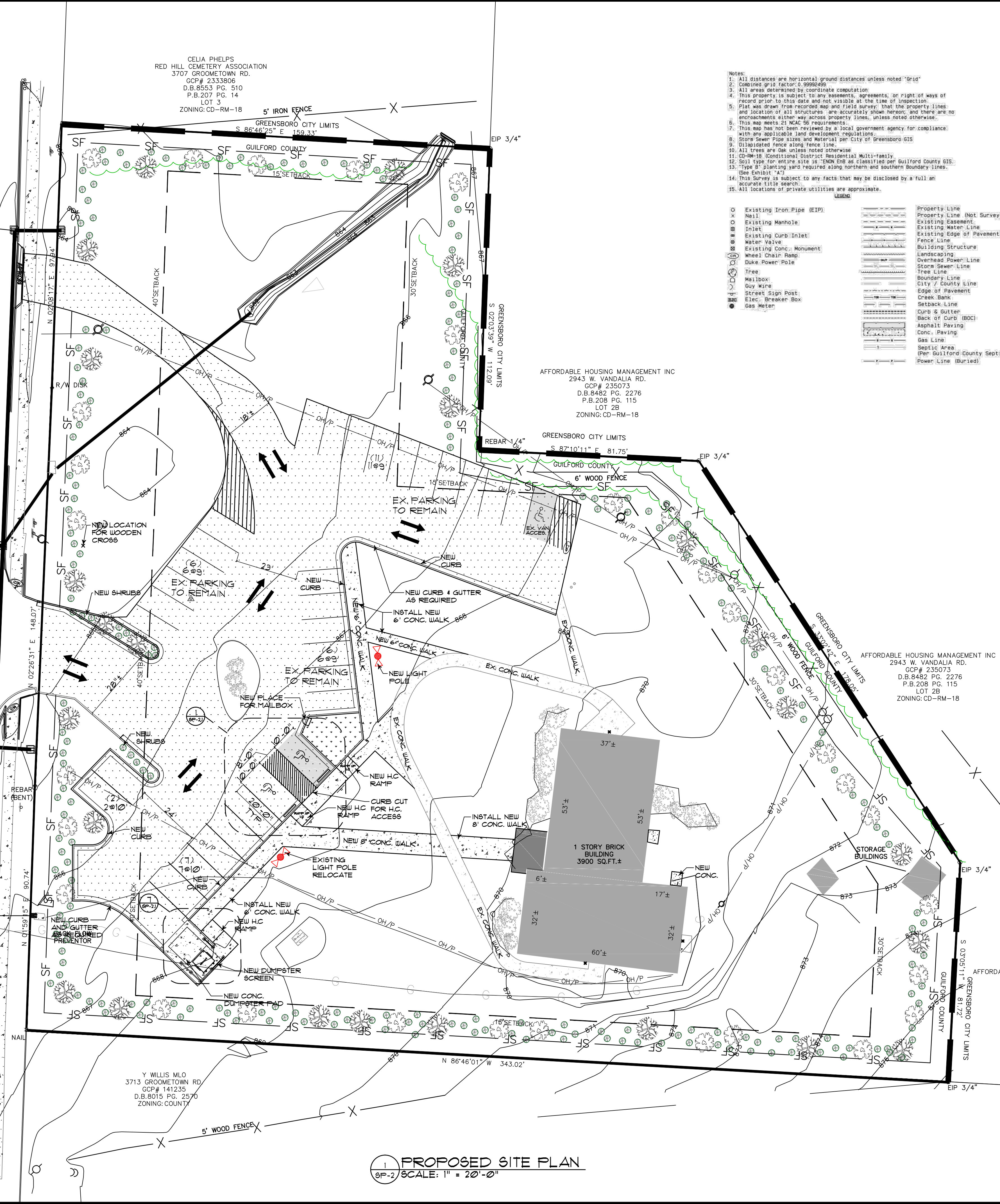
STIRRUP DRIVE
(NCSR# 1442 60' RIGHT OF WAY
PER P.B. 112 PG. 126)

CELIA PHELPS
RED HILL CEMETERY ASSOCIATION
3707 GROOMETOWN RD.
GCP# 2333806
D.B.8553 PG. 510
P.B.207 PG. 14
LOT 3
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC
2943 W. VANDALIA RD.
GCP# 235073
D.B.8482 PG. 2276
P.B.208 PG. 115
LOT 2B
ZONING: CD-RM-18

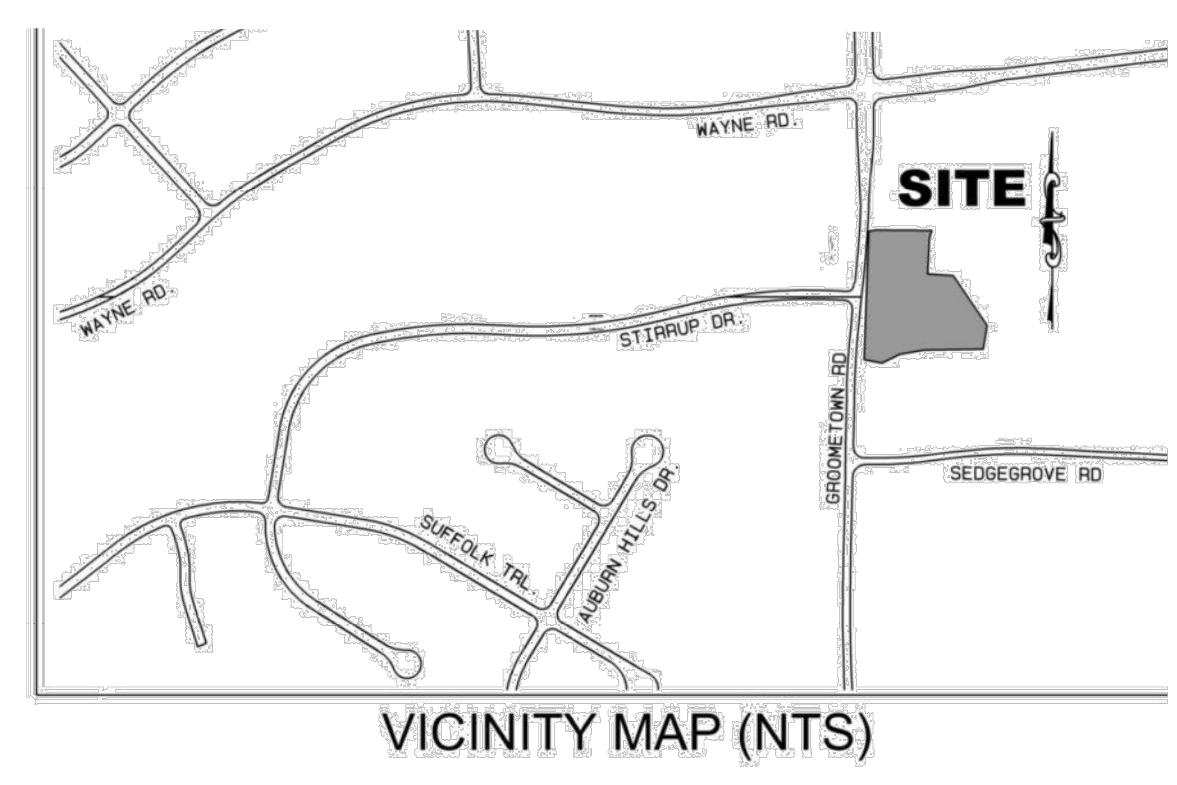
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LOT 2B
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AFFORDABLE HOUSING MANAGEMENT INC
2943 W. VANDALIA RD.
GCP# 235073
D.B.8482 PG. 2276
P.B.208 PG. 115
LOT 2B
ZONING: CD-RM-18



- Notes:
- All distances are horizontal ground distances unless noted "Grid"
 - Combined grid factor: 0.999849
 - All areas determined by coordinate computation
 - This property is subject to any easements, agreements, or right of ways of record prior to this date and not visible at the time of inspection.
 - Plot was drawn from recorded map and field survey; that the property lines and location of all structures are accurately shown hereon, and there are no encroachments within any surveyed property lines, unless noted otherwise.
 - This map meets 21 NCAC 55 requirements.
 - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
 - Storm Sewer Pipe sizes and Material per City of Greensboro GIS
 - Disappearing fence along fence line.
 - All trees are Oak unless noted otherwise
 - CD-06-018 (conditional) District Residential Multi-Family
 - Soil type for entire site is "ENCL ENB as classified per Guilford County GIS.
 - "Type B" planting shall be required along northern and southern boundary lines. (See Exhibit "A")
 - This Survey is subject to any facts that may be disclosed by a full and accurate title search.
 - All locations of private utilities are approximate.

⊙	Existing Iron Pipe (EIP)	---	Property Line (Not Surveyed)
⊙	Mail	---	Existing Easement
⊙	Existing Manhole	---	Existing Water Line
⊙	Inlet	---	Existing Edge of Pavement
⊙	Existing Curb Inlet	---	Fence Line
⊙	Water Valve	---	Building Structure
⊙	Existing Conc. Monument	---	Landscaping
⊙	Wheel Chair Ramp	---	Overhead Power Line
⊙	Duke Power Pole	---	Store Green Line
⊙	Tree	---	Tree Line
⊙	Mailbox	---	Boundary Line
⊙	Guy Wire	---	City / County Line
⊙	Street Sign Post	---	Edge of Pavement
⊙	Elec. Breaker Box	---	Creek Bank
⊙	Gas Meter	---	Setback Line
		---	Curb & Gutter
		---	Back of Curb (BOC)
		---	Asphalt Paving
		---	Conc. Paving
		---	Gas Line
		---	Septic Area (Per Guilford County Septic Certificate)
		---	Power Line (Buried)



PARKING:
ASSEMBLY
CONCENTRATED CHAIRS ONLY (NOT FIXED) 1 NET
831 / 1 = 120

CHURCH
1 PER 4 SEATS IN MAIN ASSEMBLY ROOM
120 / 4 = 30 CARS

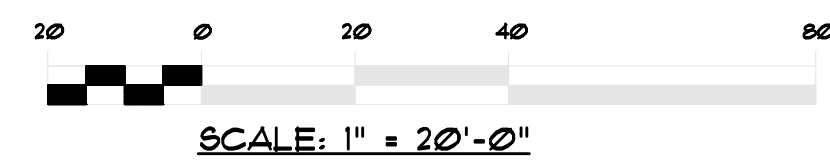
PARKING
22 EX. PARKING SPACES
1 EX. VAN ACCESSIBLE SPACES.
1 PROPOSED NEW PARKING
1 PROPOSED NEW H.C. SPACES
1 PROPOSED VAN ACCESSIBLE SPACES.

TOTAL PARKING SPACE PROVIDED = 32

KEY TO INDICATIONS

[Pattern]	EXISTING BUILDING
[Pattern]	NEW DRIVEWAY
[Pattern]	NEW SIDE WALK
[Pattern]	NEW ADDITION
- SF	SILL FENCE
○	NEW H.C. PARKING SIGN
○	VAN ACCESSIBLE SPACE
[Symbol]	CUMPSITER
○	NEW SHRUBS & TREE
○	EX. GREENERY/TREE

- NOTES:**
- PATCH, PREP AS NEEDED AND OVERLAY PARKING LOT WITH 1" ASPHALT
 - INSTALL SILL FENCE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - REPAIR/REPLACE ANY DAMAGED SIDEWALK ALONG PROPERTY FRONTAGE BY ADA REQUIREMENT
 - PROVIDING STRIPING AND PARKING SYMBOL
 - REMOVE AND REPLACE PARKING STOPS.
 - PROVIDING H.C. PARKING SIGN

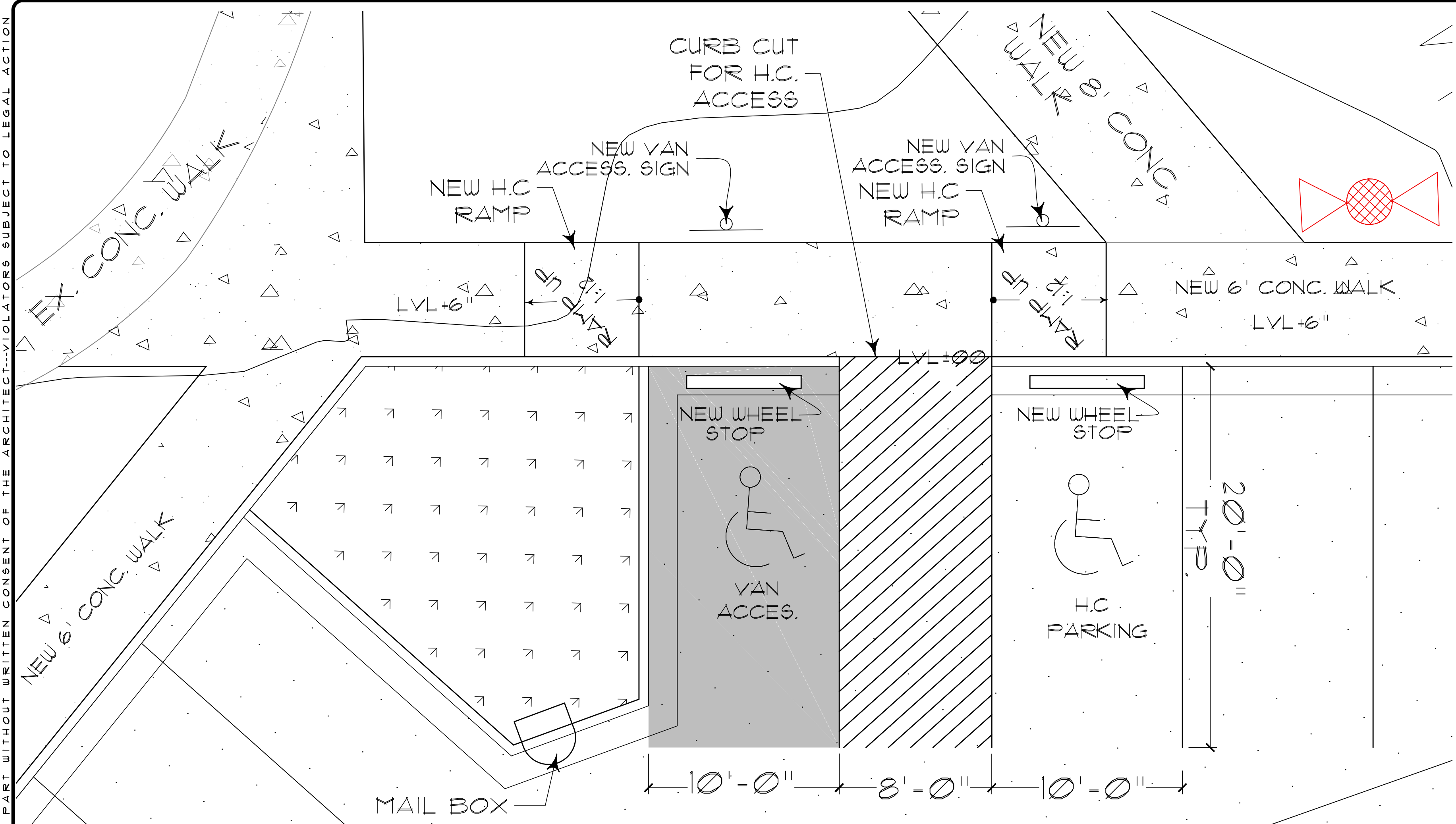


1 PROPOSED SITE PLAN
SP-2 SCALE: 1" = 20'-0"

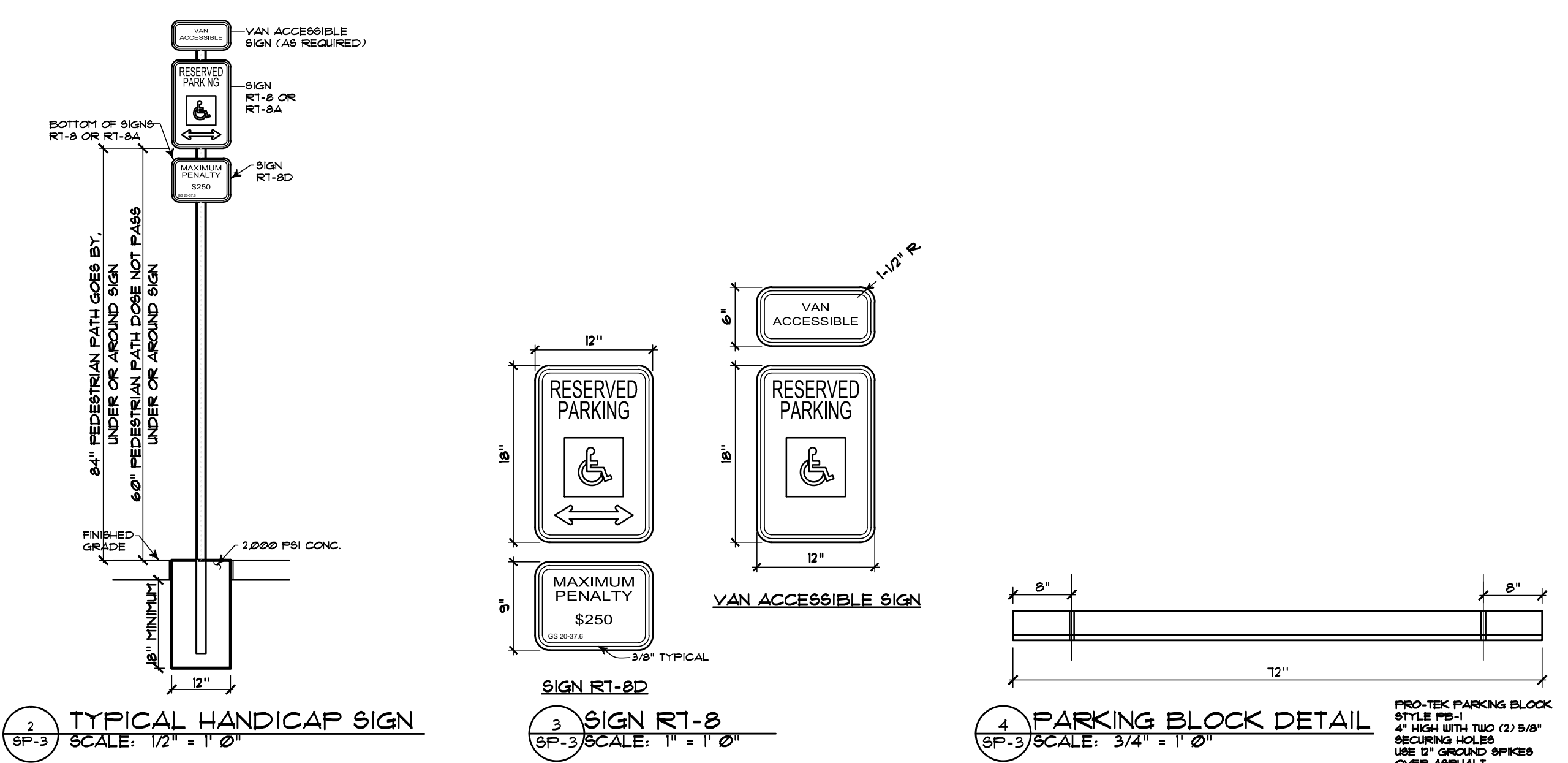
PROPOSED SITE PLAN

REVISIONS	DATE	JOB NO. G-945	DATE APRIL, 2024
		DRAWN BY	CHECKED BY
<p>RENOVATIONS</p> <p>CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH</p> <p>3709 Groometown Rd, Greensboro, NC 27407</p>			
<p>CLINTON E. GRAVELLY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS / PLANNERS</p> <p>324 WEST WENDOVER AVENUE SUIT #1 GREENSBORO, NORTH CAROLINA 27408</p> <p>PHONE: 336-275-9885 FAX: 336-275-9885 E-MAIL: ADDRESS: info@clgravelly.com</p>			
<p>SHEET SP-2 OF 4</p>			

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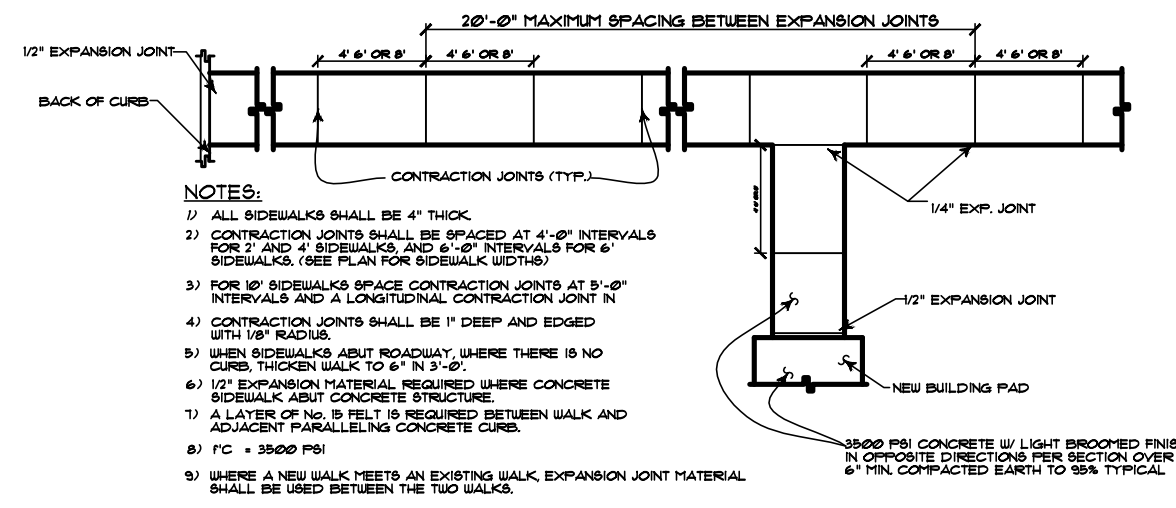
1 ENLARGED PLAN
SP-3 SCALE: 1/4" = 1'-0"



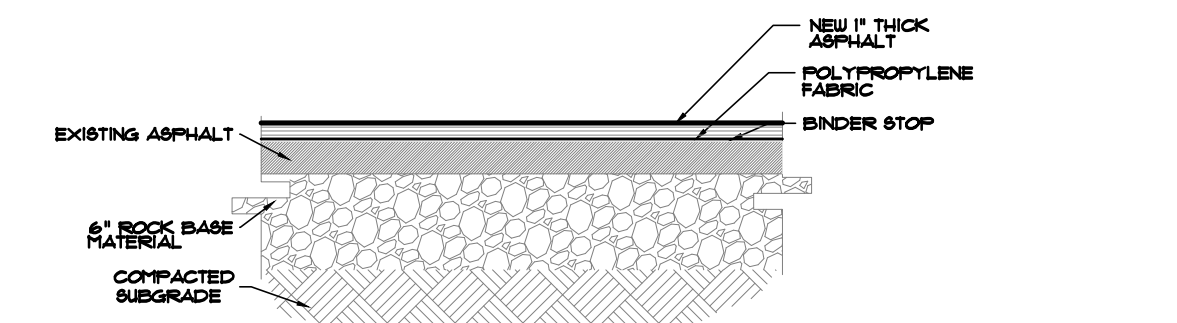
2 TYPICAL HANDICAP SIGN
SP-3 SCALE: 1/2" = 1'-0"

3 SIGN RT-8
SP-3 SCALE: 1" = 1'-0"

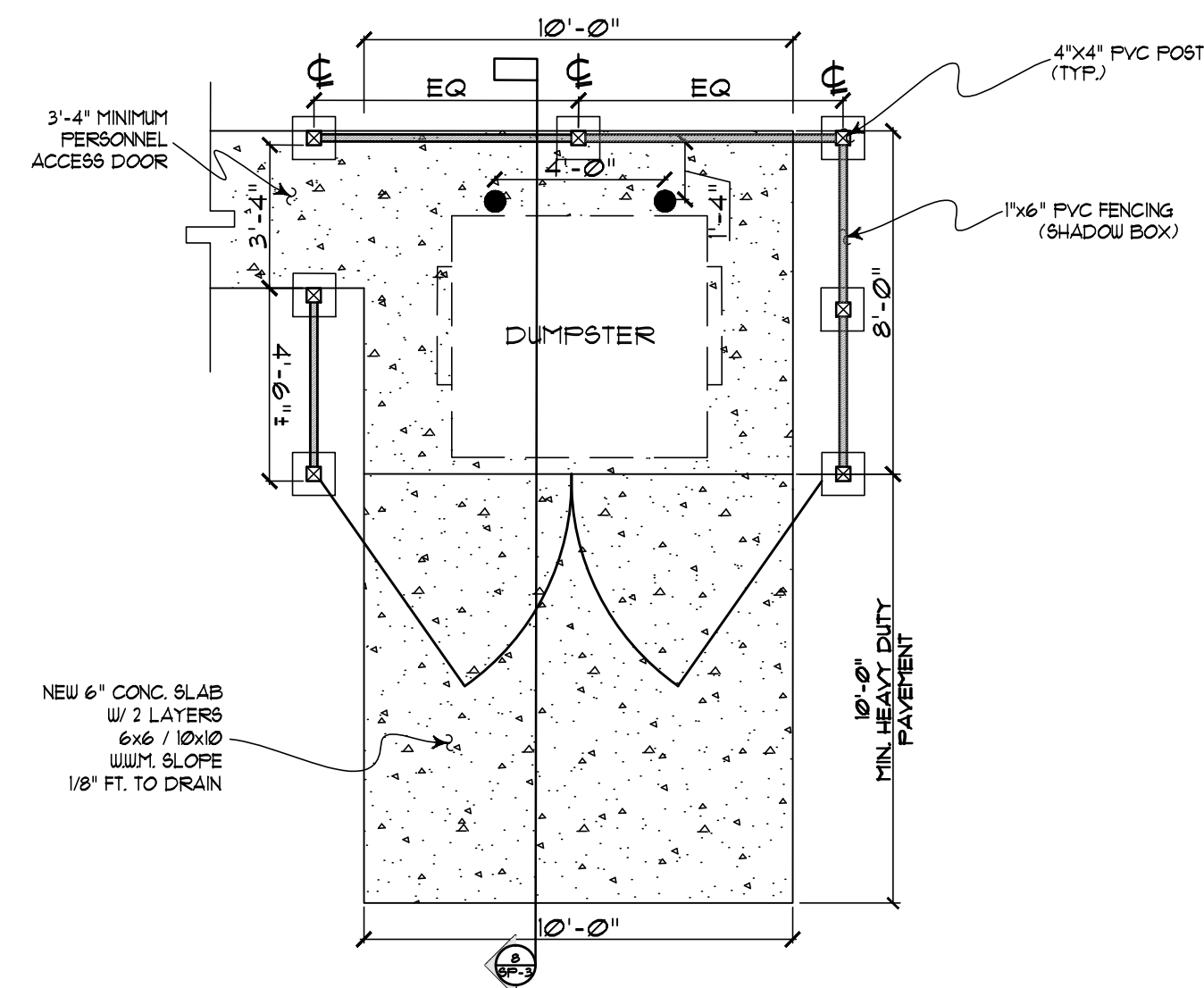
4 PARKING BLOCK DETAIL
SP-3 SCALE: 3/4" = 1'-0"



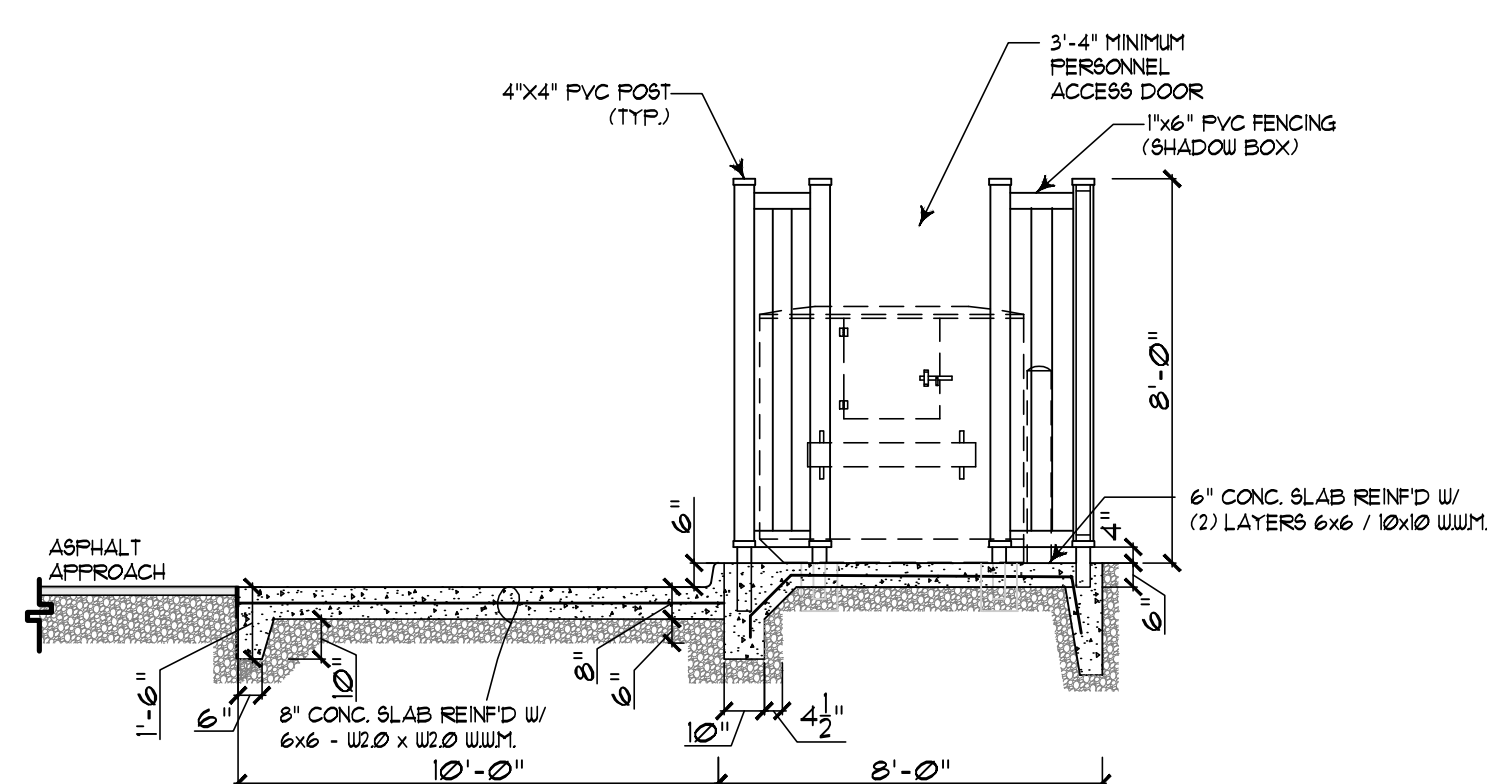
5 STANDARD JOINT LAYOUT FOR CONCRETE SIDEWALKS
SP-3 SCALE: 3/32" = 1'-0"



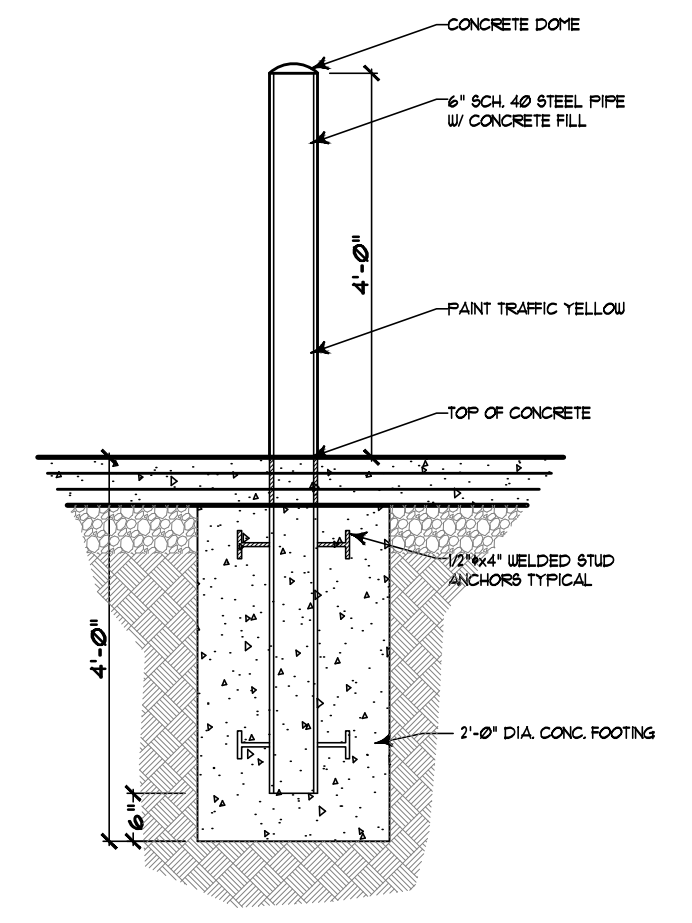
6 ASPHALT OVERLAY
SP-3 SCALE: 1" = 1'-0"



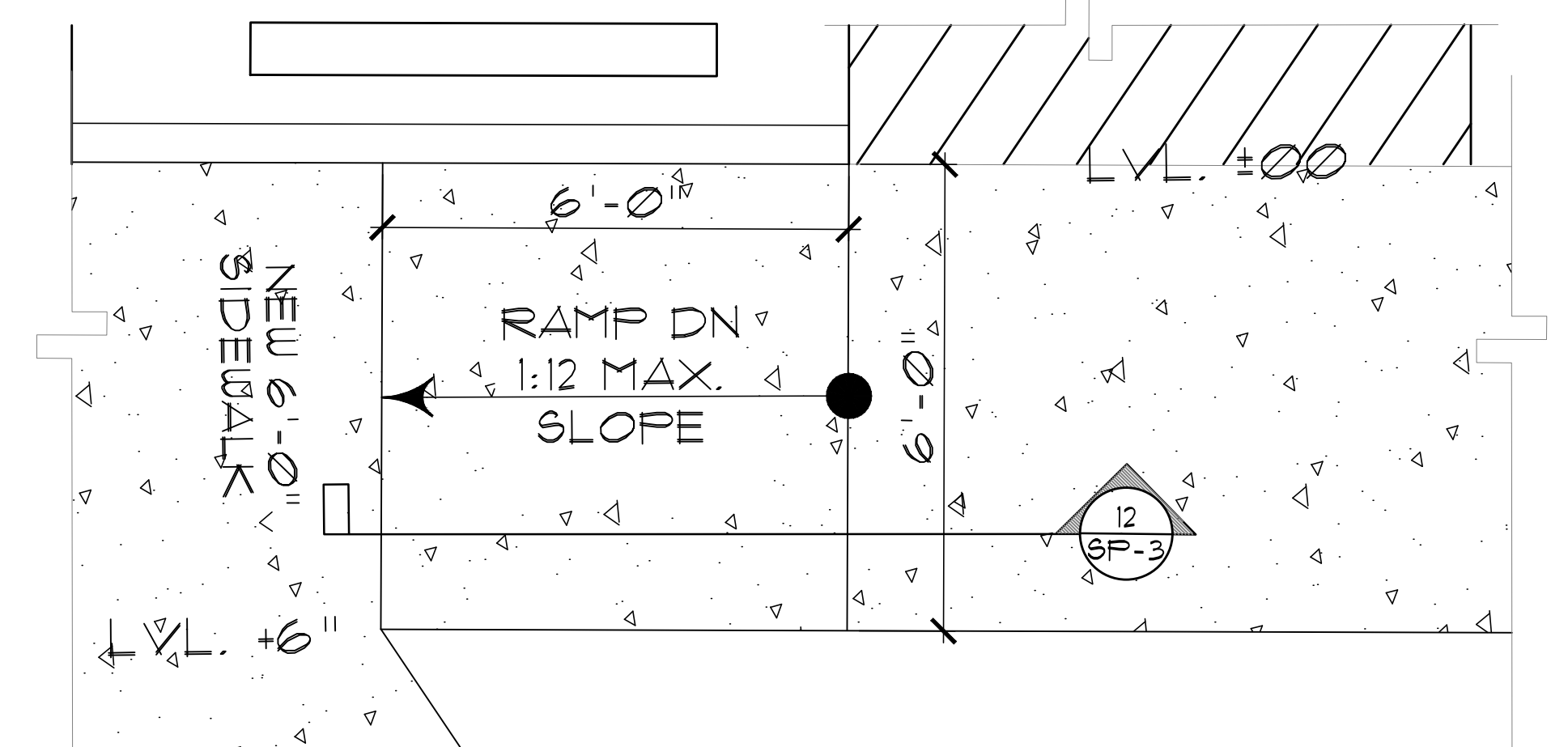
7 ENCLOSURE DUMPSTER PAD PLAN
SP-3 SCALE: 1/4" = 1'-0"



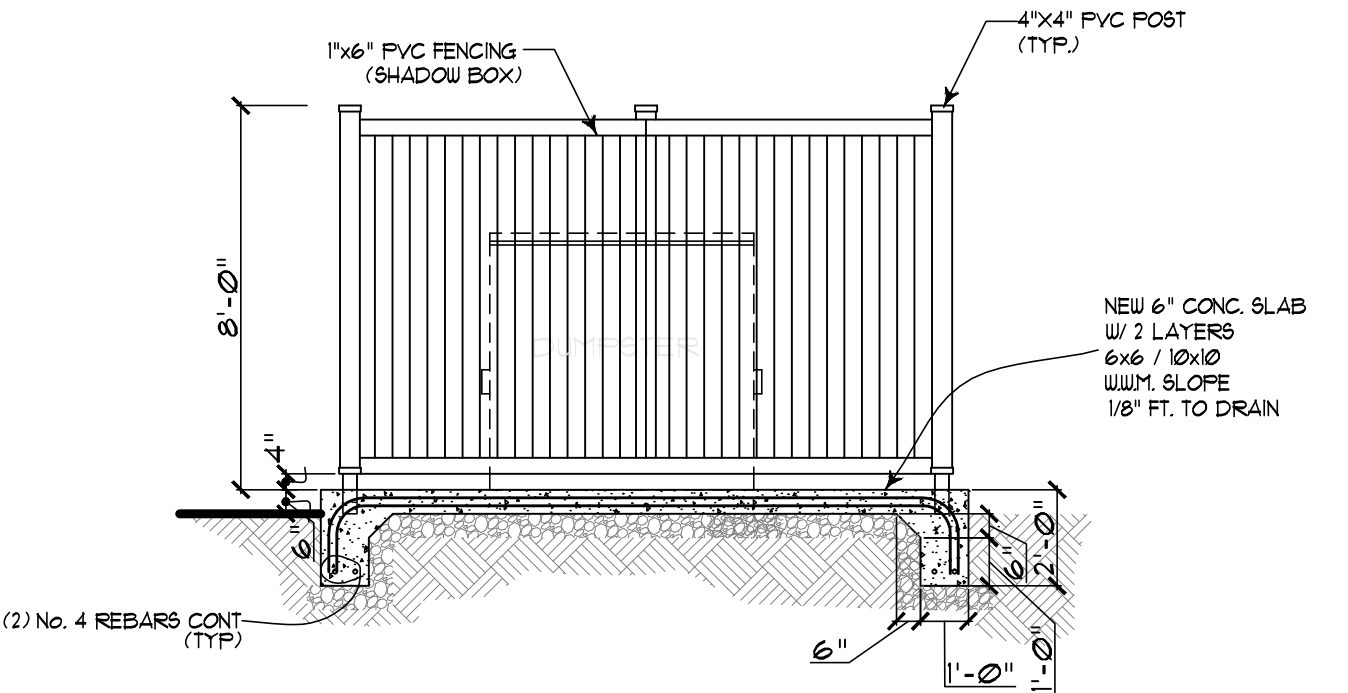
8 SECTION THROUGH ENCLOSURE
SP-3 SCALE: 1/4" = 1'-0"



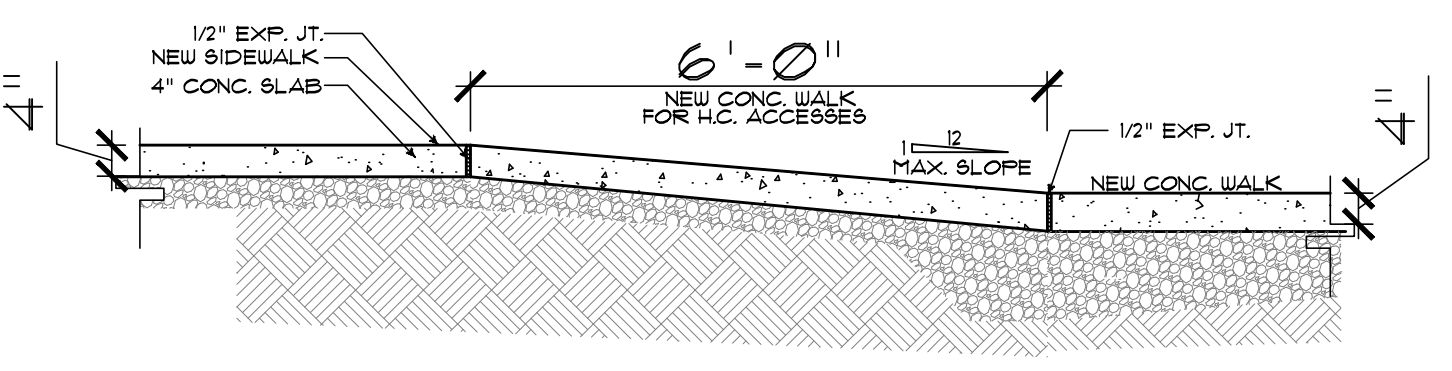
9 TYPICAL PIPE BOLLARD
SP-3 SCALE: 1/2" = 1'-0"



11 ENLARGED H.C. RAMP
SP-3 SCALE: 1/2" = 1'-0"



10 FRONT ELEVATION
SP-3 SCALE: 1/4" = 1'-0"

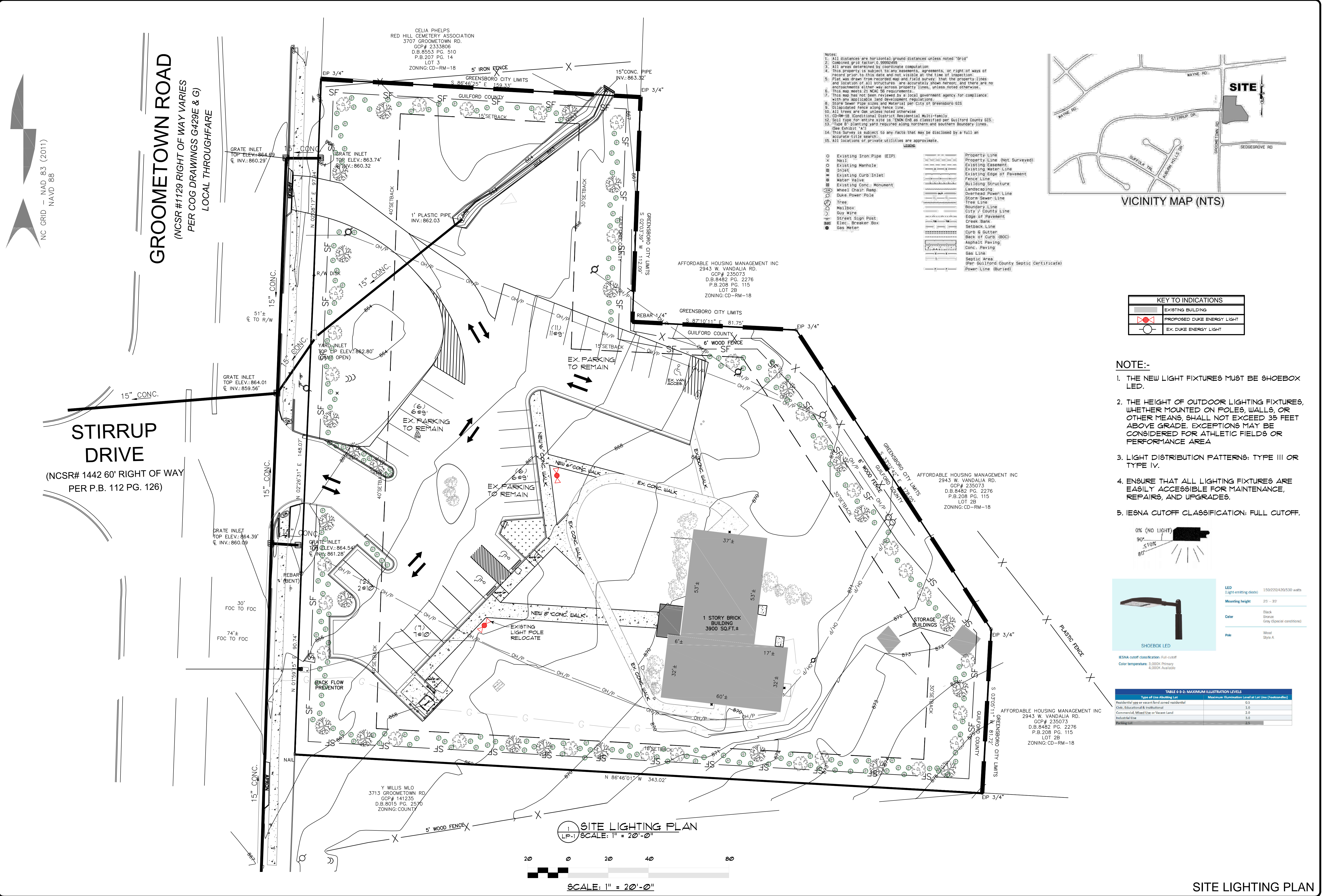


12 H.C. RAMP AND SIDEWALK
SP-3 SCALE: 1/2" = 1'-0"

PROPOSED SITE PLAN
NEW H.C. SIGNS, DUMPSTER PAD, ELEVATION AND SECTION
NEW H.C. RAMP PLAN, SECTIONS AND DETAILS

REVISIONS	DATE	JOB NO. G-945	DATE APRIL 2024	DRAWN BY	CHECKED BY
RENOVATIONS CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groomstown Rd, Greensboro, NC 27407					
CLINTON E. GRAVELLY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS 324 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27408 (336) 275-9883 FAX (336) 275-9885 E-MAIL ADDRESS info@celiaarchitect.com					
SHEET SP-3 OF 4					

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GROOMETOWN ROAD
(NCSR #1129 RIGHT OF WAY VARIES PER COG DRAWINGS G429E & G) LOCAL THROUGHFARE

STIRRUP DRIVE
(NCSR# 1442 60' RIGHT OF WAY PER P.B. 112 PG. 126)

CELIA PHELPS
RED HILL CEMETERY ASSOCIATION
3707 GROOMETOWN RD.
GCP# 2333806
D.B.8553 PG. 510
P.B.207 PG. 14
LOT 3
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC
2943 W. VANDALIA RD.
GCP# 235073
D.B.8482 PG. 2276
P.B.208 PG. 115
LOT 2B
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC
2943 W. VANDALIA RD.
GCP# 235073
D.B.8482 PG. 2276
P.B.208 PG. 115
LOT 2B
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC
2943 W. VANDALIA RD.
GCP# 235073
D.B.8482 PG. 2276
P.B.208 PG. 115
LOT 2B
ZONING: CD-RM-18

Y WILLIS MLO
3713 GROOMETOWN RD.
GCP# 141235
D.B.8015 PG. 2570
ZONING: COUNTY

- NOTES:**
- All distances are horizontal ground distances unless noted "Grid"
 - Combined grid factor 0.9998499
 - All areas determined by coordinate computation
 - This property is subject to any easements, agreements, or right of ways of record prior to this date and not visible at the time of inspection
 - Plat was drawn from recorded map and field survey; that the property lines and location of all structures, are accurately shown hereon, and there are no encroachments either way across property lines, unless noted otherwise.
 - This map meets all NCAC '99 requirements.
 - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
 - Storm Sewer Pipe sizes and Material per City of Greensboro GIS
 - Disinfectant fence along fence line.
 - All trees are Oak unless noted otherwise
 - CD-RM-18 Conditional District Residential Multi-Family
 - Soil type for entire site is T80N O8R as classified per Guilford County GIS.
 - "Type B" planting yard required along northern and southern boundary lines. (See Exhibit "A")
 - This Survey is subject to any facts that may be disclosed by a full an accurate title search.
 - All locations of private utilities are approximate.

- LEGEND**
- Existing Iron Pipe (EIP)
 - Nail
 - Existing Manhole
 - Existing Curb/Inlet
 - Water Valve
 - Existing Conc. Monument
 - Wheel Chair Ramp
 - Duke Power Pole
 - Tree
 - Mailbox
 - Buy Wire
 - Street Sign Post
 - Elec. Breaker Box
 - Gas Meter
 - Property Line (Not Surveyed)
 - Existing Easement
 - Existing Water Line
 - Existing Edge of Pavement
 - Fence Line
 - Building Structure
 - Landscaping
 - Overhead Power Line
 - Storm Sewer Line
 - Tree Line
 - Boundary Line
 - City / County Line
 - Edge of Pavement
 - Drain Bank
 - Setback Line
 - Curb & Gutter
 - Back of Curb (BOC)
 - Asphalt Paving
 - Conc. Paving
 - Gas Line
 - Septic Area (Per Guilford County Septic Certificate)
 - Power Line (Buried)



KEY TO INDICATIONS

	EXISTING BUILDING
	PROPOSED DUKE ENERGY LIGHT
	EX. DUKE ENERGY LIGHT

- NOTE:-**
- THE NEW LIGHT FIXTURES MUST BE SHOEBOX LED.
 - THE HEIGHT OF OUTDOOR LIGHTING FIXTURES, WHETHER MOUNTED ON POLES, WALLS, OR OTHER MEANS, SHALL NOT EXCEED 35 FEET ABOVE GRADE. EXCEPTIONS MAY BE CONSIDERED FOR ATHLETIC FIELDS OR PERFORMANCE AREA
 - LIGHT DISTRIBUTION PATTERNS: TYPE III OR TYPE IV.
 - ENSURE THAT ALL LIGHTING FIXTURES ARE EASILY ACCESSIBLE FOR MAINTENANCE, REPAIRS, AND UPGRADES.
 - IESNA CUTOFF CLASSIFICATION: FULL CUTOFF.

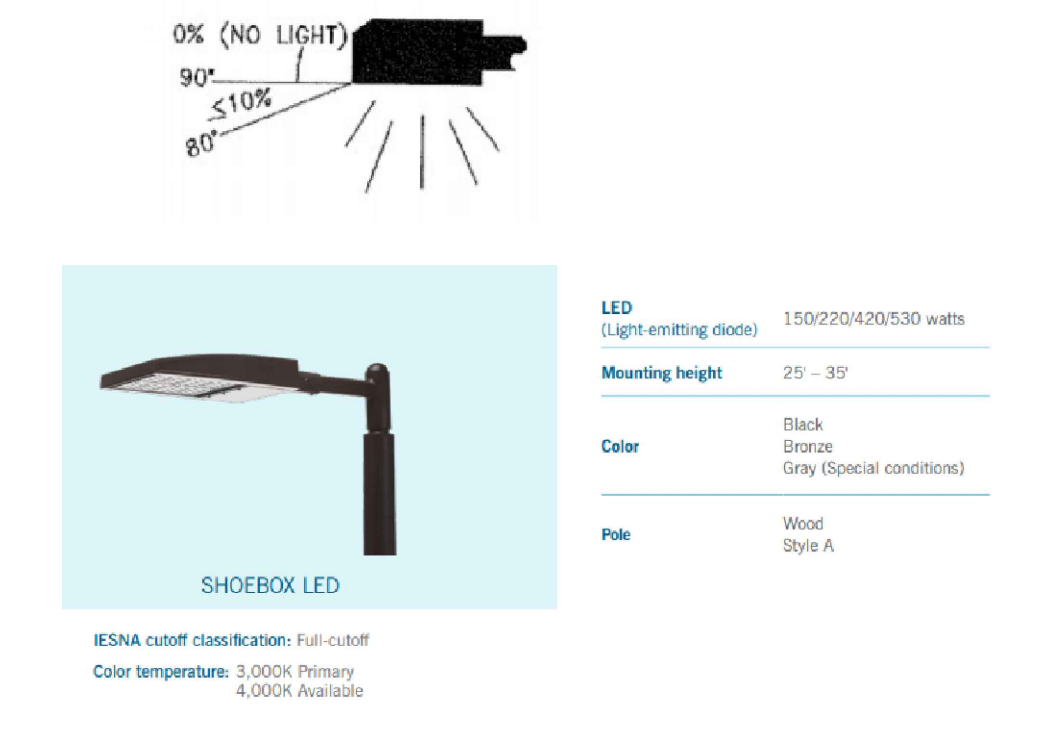


TABLE 6-3-2: MAXIMUM ILLUMINATION LEVELS

Type of Use Abutting Lot	Maximum Illumination Level at Lot Line (Footcandles)
Residential (see or exempt land zoned residential)	0.3
Club, Educational & Institutional	1.0
Commercial, Mixed Use or Vacant Land	2.0
Residential Use	3.0
Parking Lot	3.0

REVISIONS

JOB NO.	DATE	BY	CHECKED BY
G-945	APRIL, 2024		

RENOVATIONS
CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH
3709 Groometown Rd., Greensboro, NC 27407

CLINTON E. GRAVELY AIA ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS
(336) 775-8883
324 WEST WENDOVER AVENUE SUIT 101 GREENSBORO, NORTH CAROLINA 27408
E-MAIL ADDRESS: info@cegravelyarchitect.com

SHEET LP-1 OF

SITE LIGHTING PLAN

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NC GRID - NAD 83 (2011)
NAVD 88

GROOMETOWN ROAD
(NCSR #1129 RIGHT OF WAY VARIES
PER COG DRAWINGS G-4205 & G-4206)
LOCAL THROUGHFARE

STIRRUP DRIVE
(NCSR #1442 60' RIGHT OF WAY
PER P.B. 112 PG. 126)

15' STREET YARD
CANOPY TREE = 3
UNDERSTORY TREES = 3
SHRUBS = 28

15' STREET YARD
CANOPY TREE = 1
UNDERSTORY TREES = 1
SHRUBS = 1

15' STREET YARD
CANOPY TREE = 2
UNDERSTORY TREES = 3
SHRUBS = 8

15' STREET YARD
CANOPY TREE = 6
UNDERSTORY TREES = 8
SHRUBS = 61

15' STREET YARD
CANOPY TREE = 3
UNDERSTORY TREES = 2
SHRUBS = 18

15' STREET YARD
CANOPY TREE = 1
UNDERSTORY TREES = 2
SHRUBS = 14

15' STREET YARD
CANOPY TREE = 4
UNDERSTORY TREES = 1
SHRUBS = 23

15' STREET YARD
CANOPY TREE = 2
UNDERSTORY TREES = 3
SHRUBS = 10



- Notes:
- All distances are horizontal ground distances unless noted "Grid"
 - Combined grid factor: 0.9998469
 - All areas determined by coordinate computation
 - This property is subject to any assessments, agreements, or right of ways of record prior to this date and not visible at the time of inspection
 - Plot was drawn from recorded map and field survey; that the property lines and location of all structures are accurately shown hereon, and there are no encroachments either way across property lines, unless noted otherwise.
 - This map meets 21 NCAC 56 requirements.
 - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
 - Storm Sewer Pipe Sizes and Materials per City of Greensboro GIS
 - Displaced fence along fence line.
 - All trees are to be unless noted otherwise.
 - CD-RM-18 (Conditional District Residential Multi-Family)
 - Soil type for entire site is: CD-108 as classified per Guilford County GIS.
 - "Type B" planting yard required along northern and southern boundary lines. See Exhibit A-1.
 - This survey is subject to any facts that may be disclosed by a full and accurate title search.
 - All locations of private utilities are approximate.

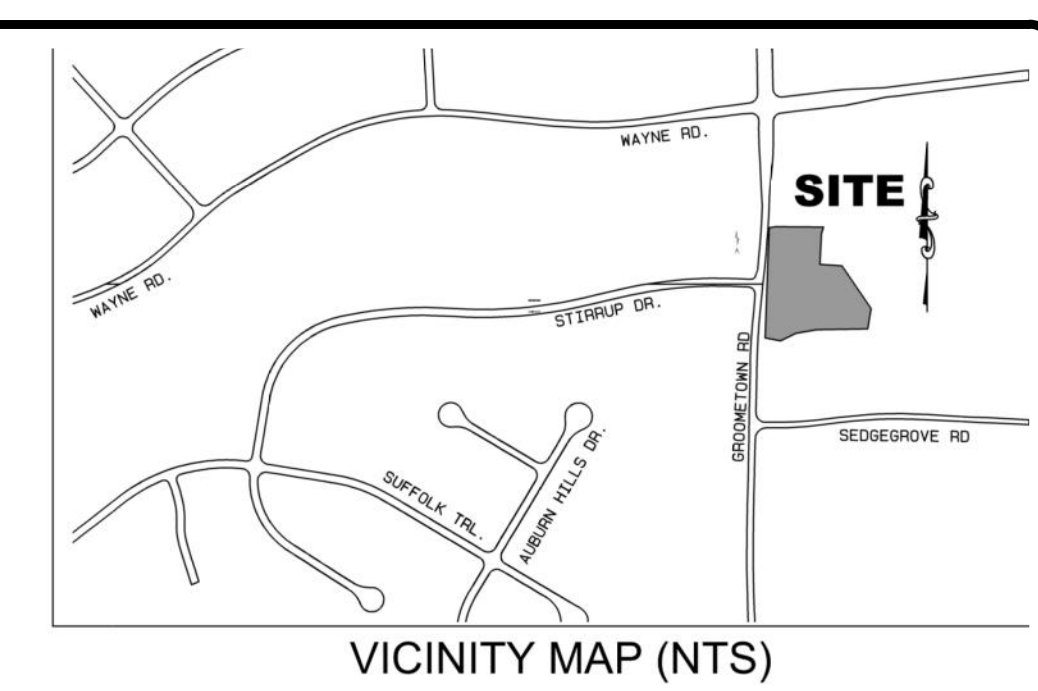
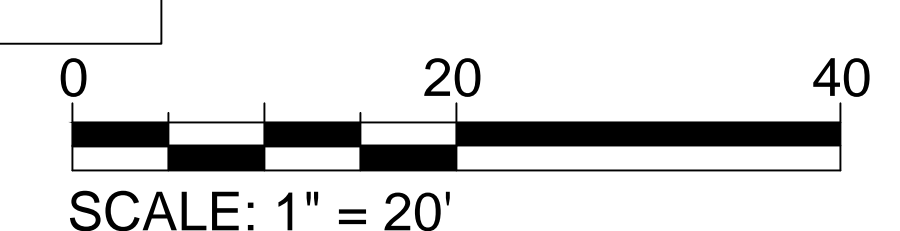
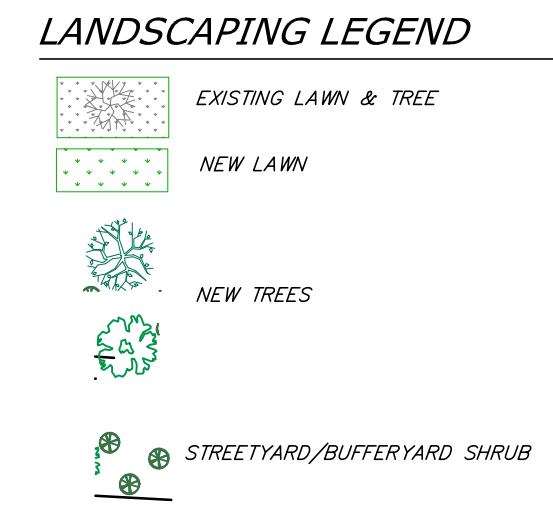


EXHIBIT-A
TYPE C PLANTING YARD

	A low-density screen intended to partially block visual contact between uses and create spatial separation.	15'	20'	40'	Canopy: 2 per 100 lf. Understory: 3 per 100 lf. Shrubs: 17 per 100 lf.
--	---	-----	-----	-----	--

NOTE:-
1. PER TABLE 6-2-2: PLANNING YARD CHART
A NON-RESIDENTIAL OR MULTI-FAMILY RESIDENTIAL WITH 8 OR MORE UNITS ADJACENT TO AN AG OR R5 ZONING DISTRICT SHALL BE REQUIRED TO INSTALL A TYPE C PLANTING YARD (MIN AVG WIDTH OF 20') IS APPLICABLE.

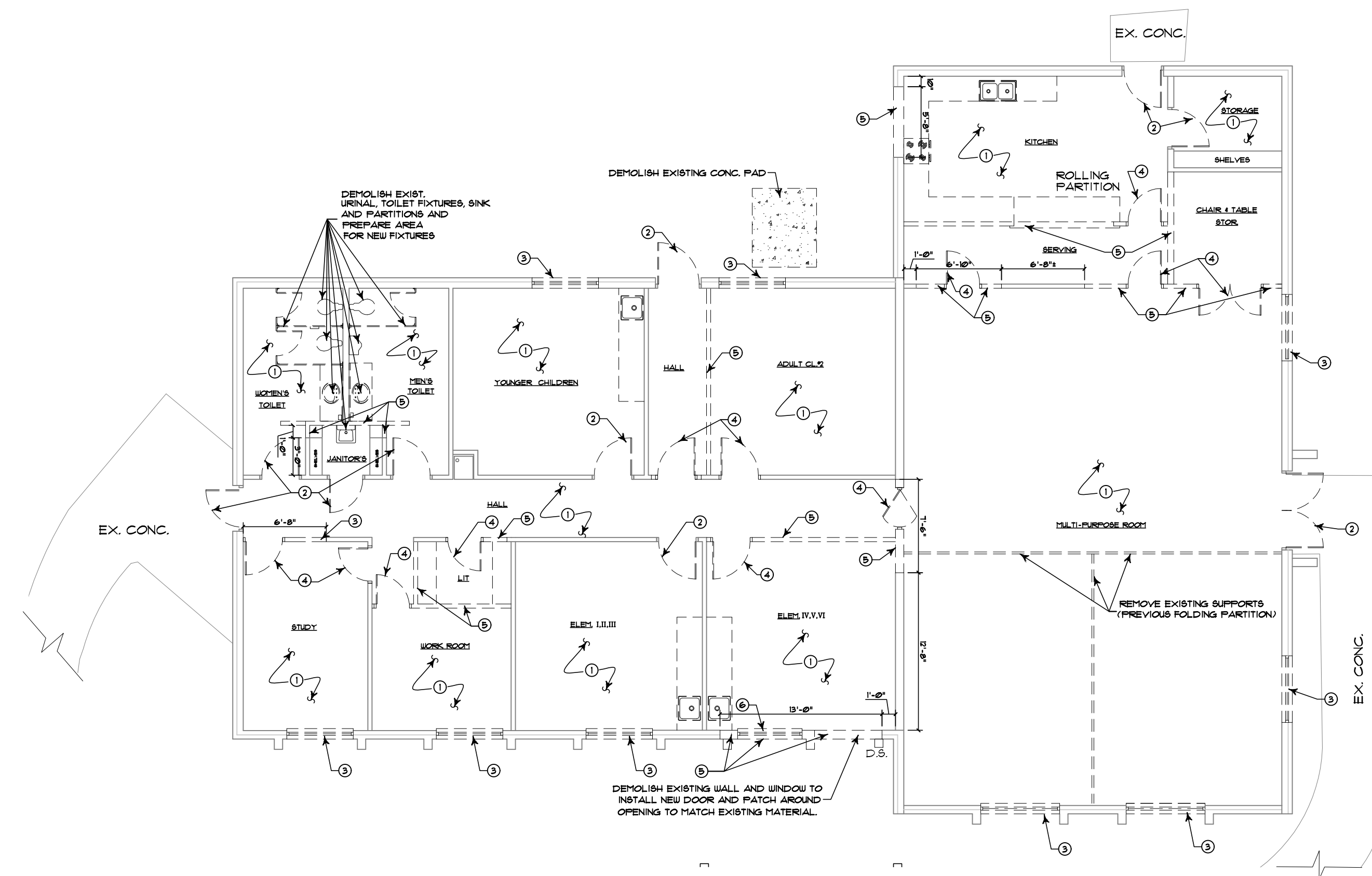


1 LANDSCAPE PLAN
L-1 SCALE: 1" = 20'

LANDSCAPE PLAN

REVISIONS	DATE	JOB NO. G-945	DATE APRIL, 2024
		DRAWN BY	CHECKED BY
RENOVATIONS CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3109 Groometown Rd, Greensboro, NC 27407			
CLINTON E. GRAVELLY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS / PLANNERS 324 WEST WENDOVER AVENUE SUIT #11 GREENSBORO, NORTH CAROLINA 27408 (336) 275-9883 FAX (336) 275-9885 E-MAIL ADDRESS: info@gravellyarchitect.com			
SHEET OF 2			

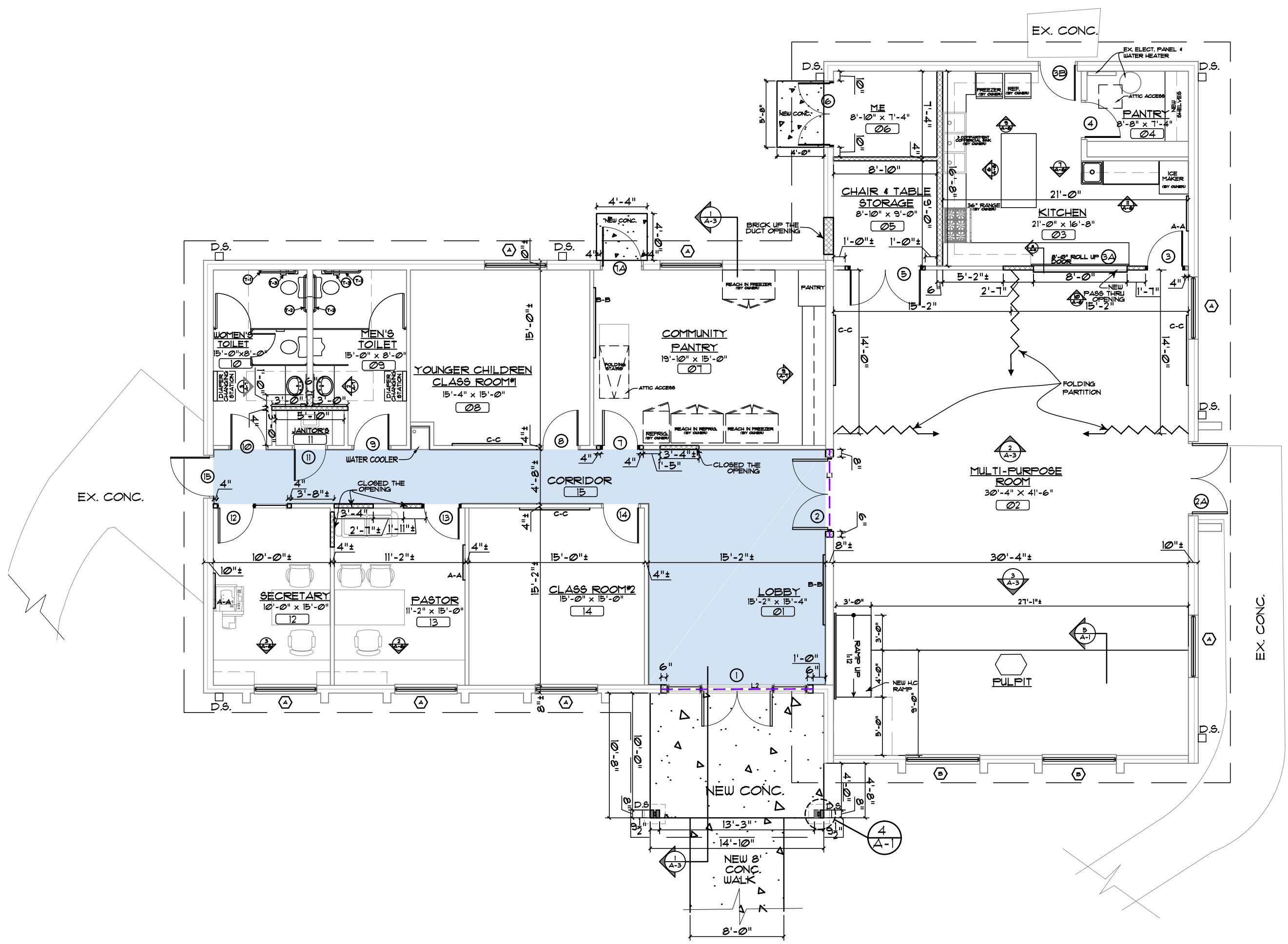
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1 EXISTING/DEMOLITION PLAN
A-1 SCALE: 1/8" = 1'-0"

KEY TO FLOOR PLANS	
	EXISTING
	DEMOLITION
	REMOVE EXIST. DOOR
	REMOVE EXIST. WINDOW

- DEMOLITION KEY NOTES**
1. REMOVE EXISTING FLOORS AND BASE AND PREPARE AREA FOR NEW FLOORING AND BASE
 2. REMOVE EXISTING DOORS AND PREPARE AREA FOR NEW DOORS
 3. REMOVE EXISTING WINDOW AND PREPARE AREA FOR NEW WINDOW
 4. REMOVE EXISTING DOORS AND FRAMES
 5. DEMOLISH EXISTING WALL AND PREPARE AREA FOR NEW OPENING
 6. DEMOLISH EXISTING WINDOW
 7. REMOVE ALL EXISTING FASCIA BOARDS, SOFFITS, ETC.
 8. CONTRACTOR SHALL ENGAGE A SMOKE RESTORATION SERVICE TO CLEAN BUILDING OF SMOKE ODOR. (TREAT ALL EXISTING WOOD SCHEDULED TO REMAIN)

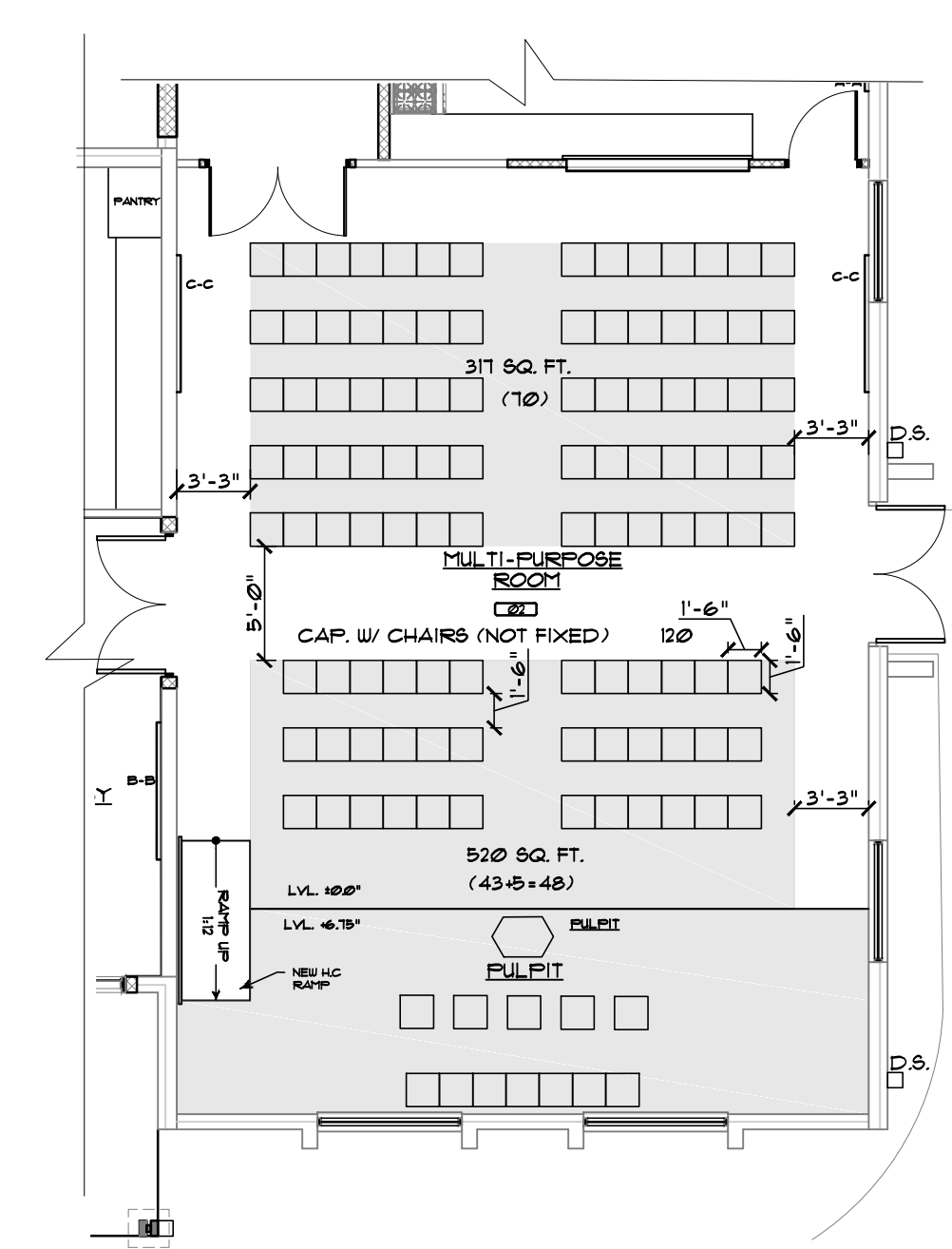


2 PROPOSED FLOOR PLAN
A-1 SCALE: 1/8" = 1'-0"

KEY TO FLOOR PLAN	
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	NEW CONCRETE
	1 HOUR FIRE RATED CORRIDOR WALL
	NEW WINDOW
	NEW DOOR
	TYPICAL ROOF NUMBER
	TYPICAL DOOR NUMBER
	SECTION TAG
	ELEVATION TAG

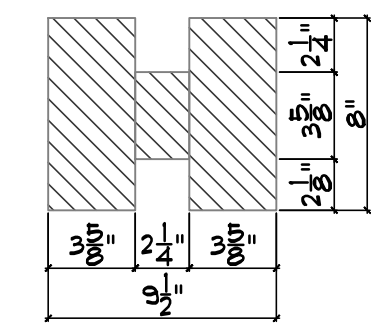
LINTEL SCHEDULE	
	LINTEL #1 (NEW OPENING #1) 1. 6"x3 1/2"x16" L.V. - 8" BEARING
	LINTEL #2 (NEW OPENING #2) 2. (2) 2"x2"x16" BOLTED # 2'-0" O.C. - 0" BEARING

NOTE:- PLEASE REFER TO SHEET A-8 FOR THE FINISH SCHEDULE AND DETAILS

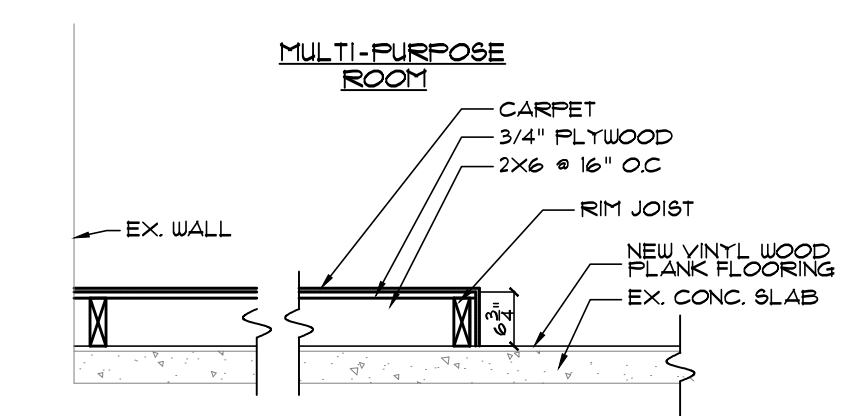


3 PROPOSED CHAIRS LAYOUT AT MULTI-PURPOSE ROOM
A-1 SCALE: 1/8" = 1'-0"

NOTE:- CHAIRS, PULPIT FURNITURE BY OWNER



4 COLUMN DETAIL
A-1 SCALE: 1-1/2" = 1'-0"



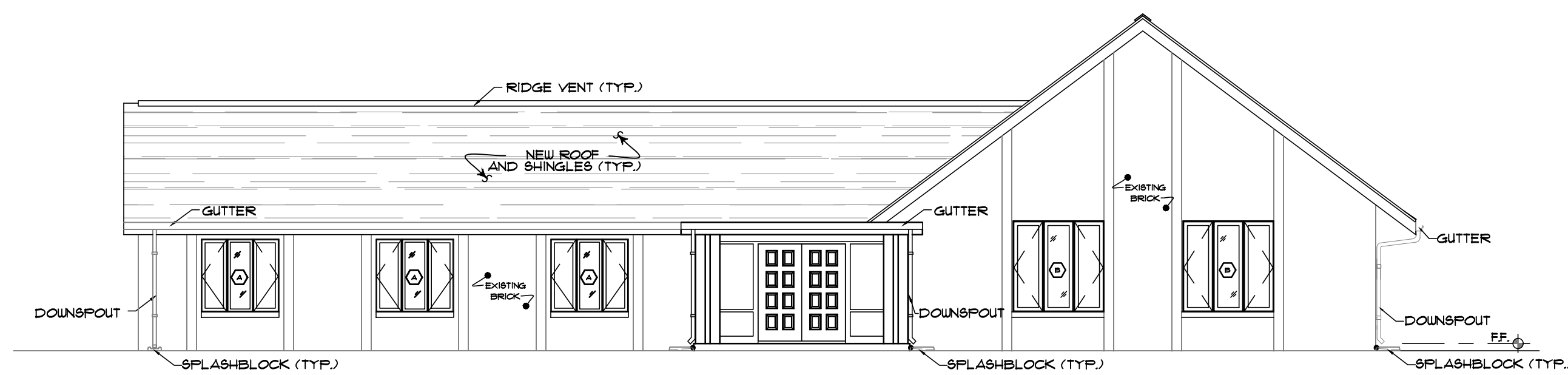
5 DETAIL OF PLATFORM
A-1 SCALE: 1/2" = 1'-0"

NOTE:- CONTRACTOR SHALL INSTALL PLATFORM (PULPIT AREA) OVER NEW INSTALL VINYL WOOD PLANK FLOORING. PLATFORM SHALL BE INSTALLED INDEPENDENTLY FROM FLOOR AND WALLS TO ALLOW TO BE REMOVED IN FUTURE WITH MIN. DAMAGE TO WALLS AND FLOOR.

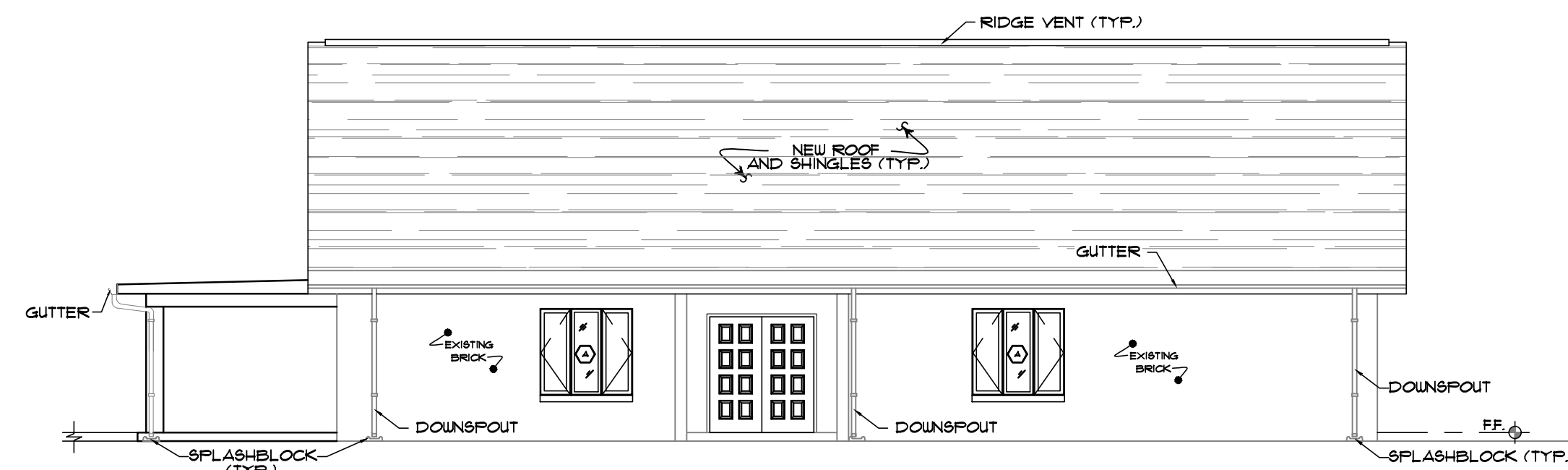
EXISTING / DEMOLITION PLAN
PROPOSED FLOOR PLAN
PROPOSED CHAIRS LAYOUT AND DETAILS

REVISIONS		DATE		JOB NO. G-945	DATE APRIL, 2024	DRAWN BY	CHECKED BY		
RENOVATIONS CELIA PHILIPS MEMORIAL UNITED METHODIST CHURCH 3109 Groomstown Rd, Greensboro, NC 27407								CLINTON E. GRAVELLY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS / PLANNERS 324 WEST WENDOVER AVENUE SUIT #11 GREENSBORO, NORTH CAROLINA 27408 (336) 275-9883 FAX (336) 275-9885 E-MAIL ADDRESS: info@clgrarchitect.com	
SHEET A-1 OF 8									

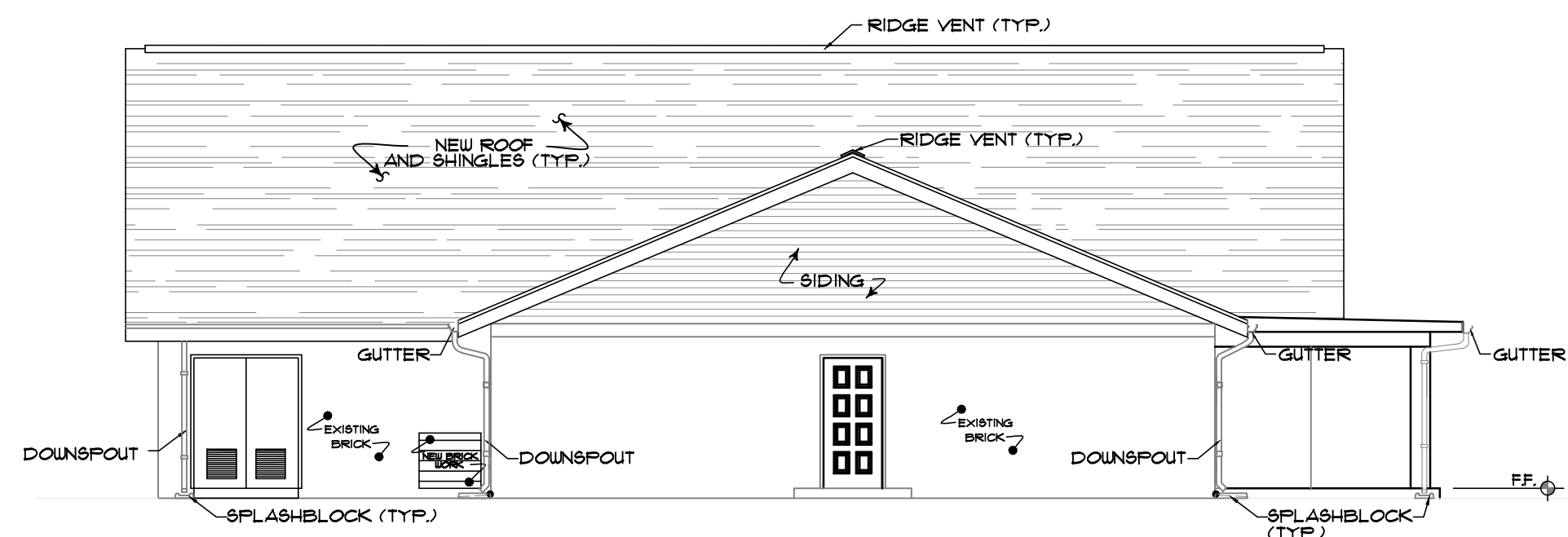
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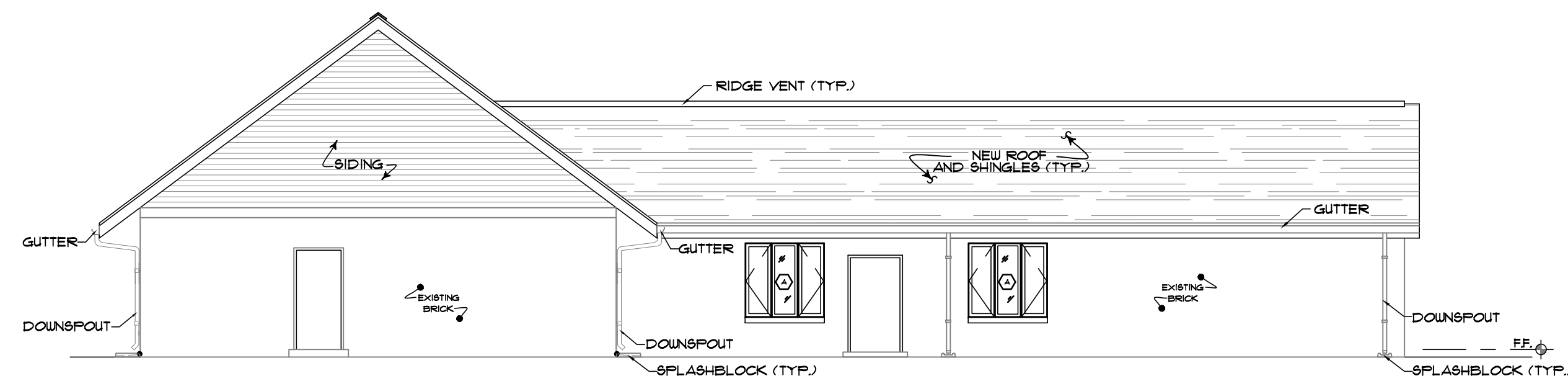
1 PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"


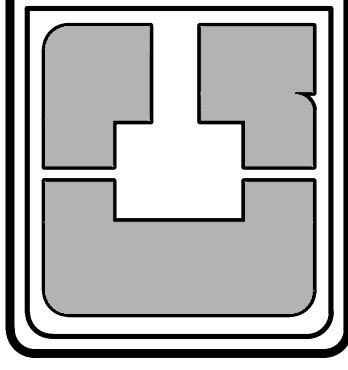


3 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

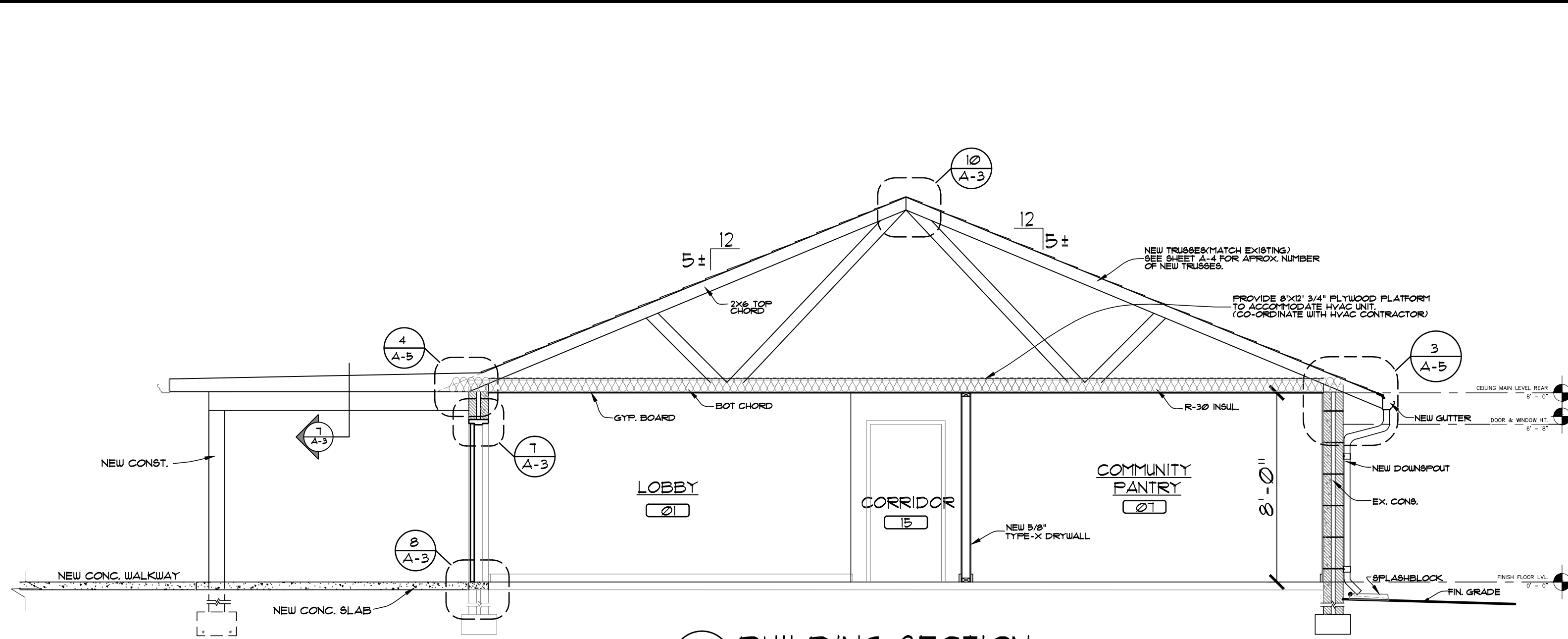


4 REAR ELEVATION
SCALE: 1/8" = 1'-0"

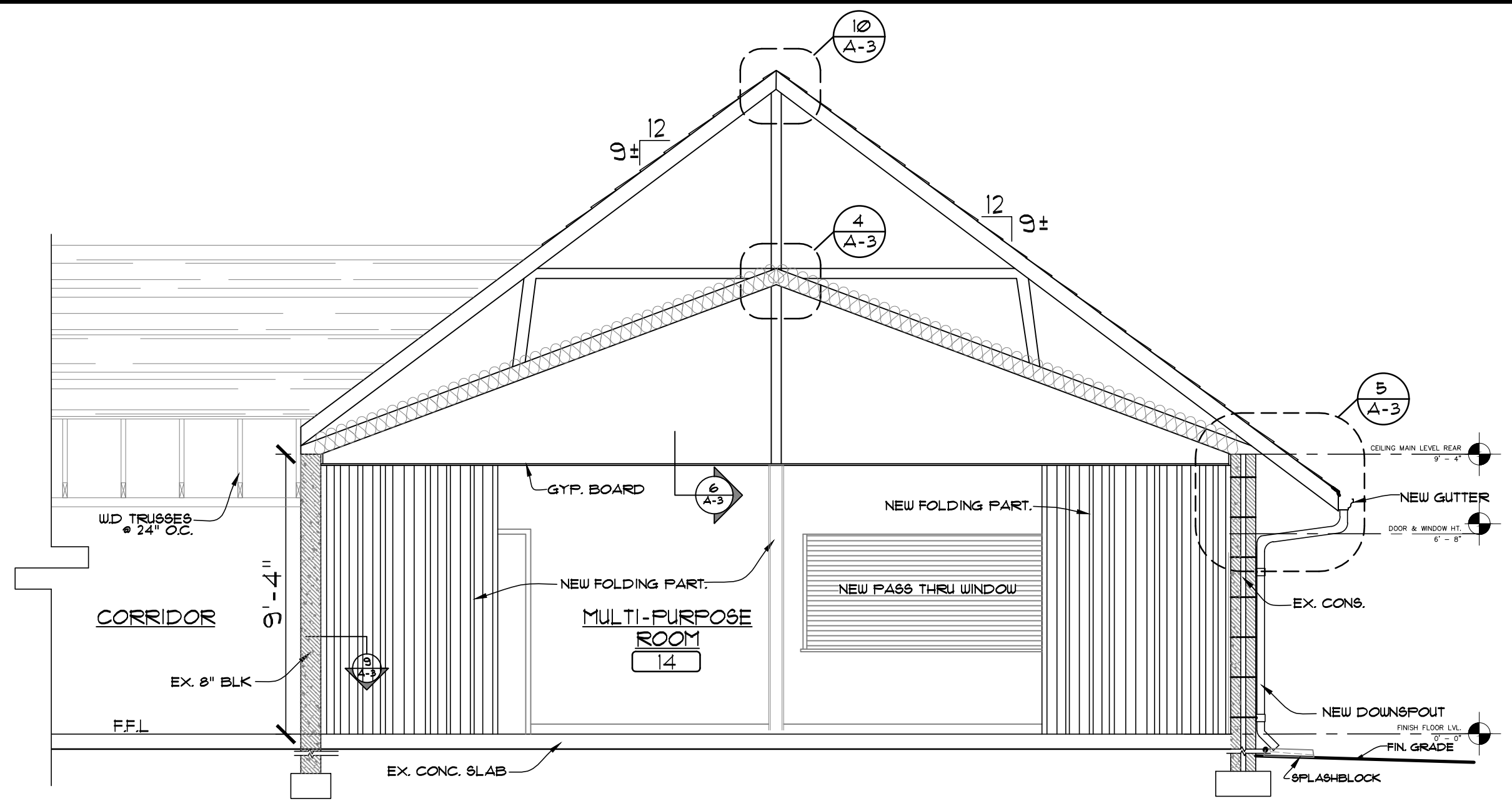
NOTE:-
FLASHBLOCK (TYPICAL AT ALL DOWNSPOUT)

	REVISIONS		DATE		
JOB NO. G-945	DATE APRIL, 2024	DRAWN BY	CHECKED BY		
RENOVATIONS CELIA PHILIPS MEMORIAL UNITED METHODIST CHURCH 3109 Groomstown Rd, Greensboro, NC 27407					
					
CLINTON E. GRAVELLY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS 324 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27408 (336) 275-9883 FAX (336) 275-9885 E-MAIL ADDRESS info@clgravellyarchitect.com					
					
SHEET A-2 OF 8					
BUILDING ELEVATIONS					

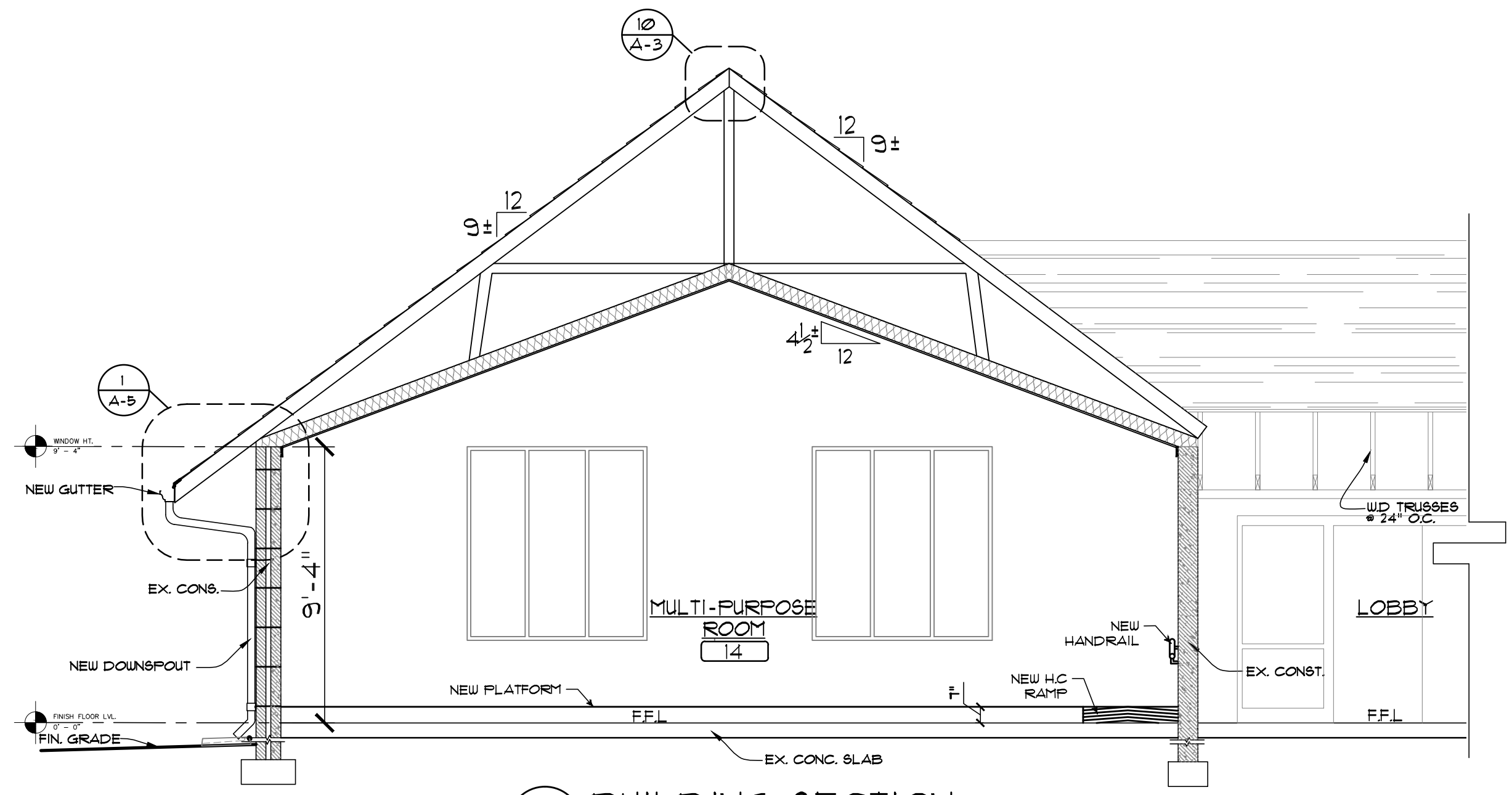
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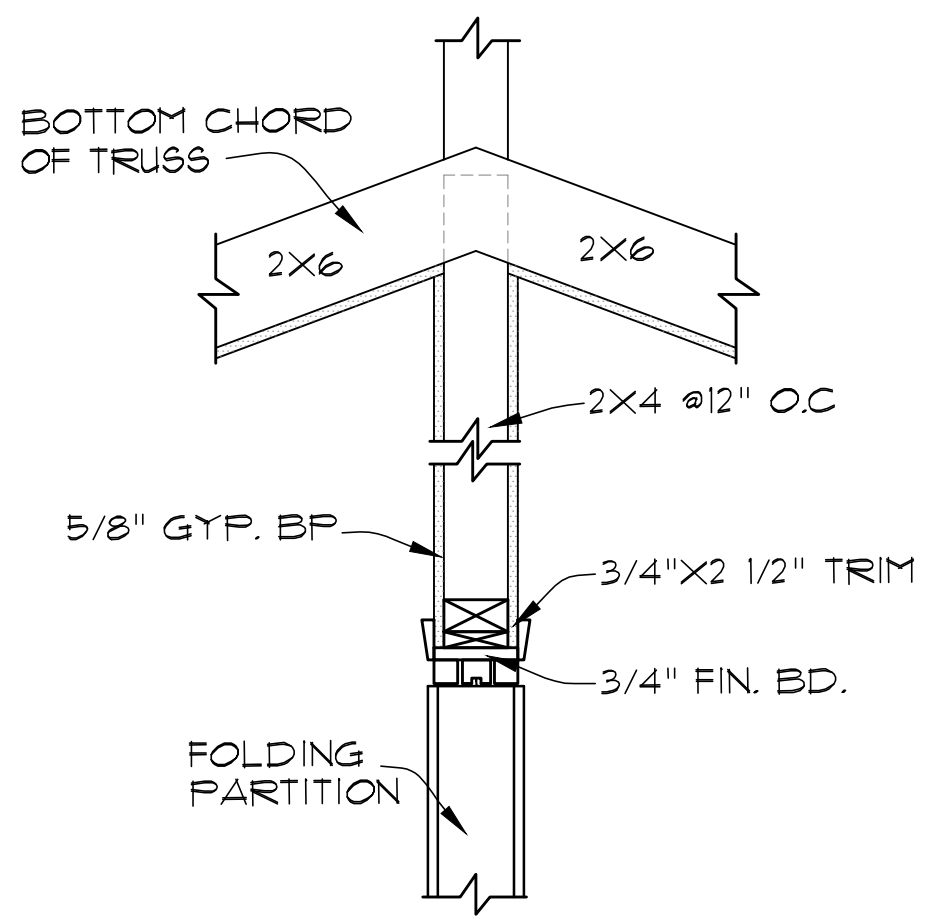
1 BUILDING SECTION
A-3 SCALE: 1/4" = 1'-0"



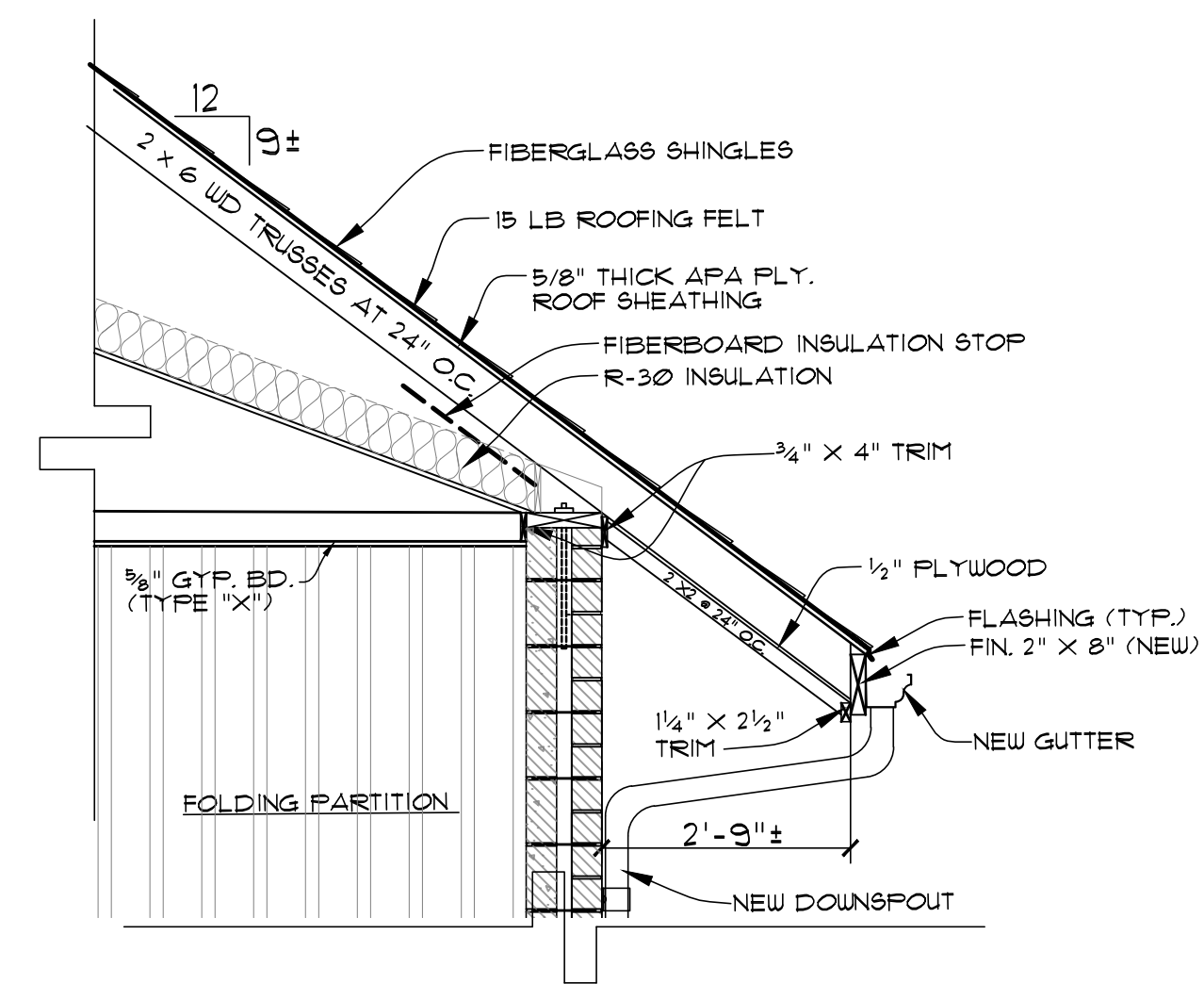
2 BUILDING SECTION
A-3 SCALE: 1/4" = 1'-0"



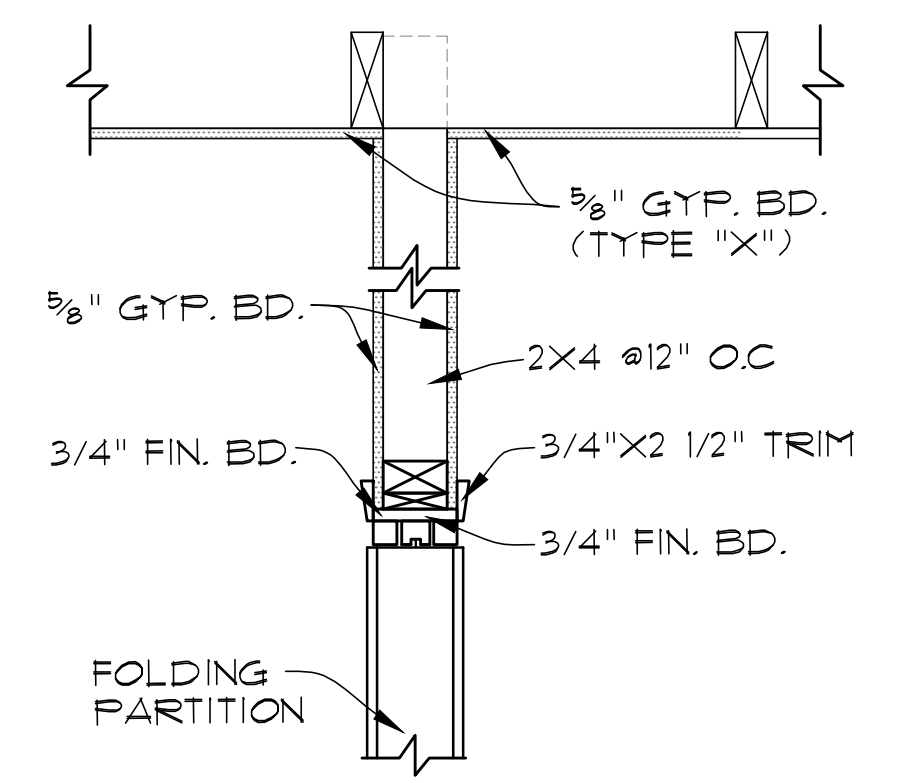
3 BUILDING SECTION
A-3 SCALE: 1/4" = 1'-0"



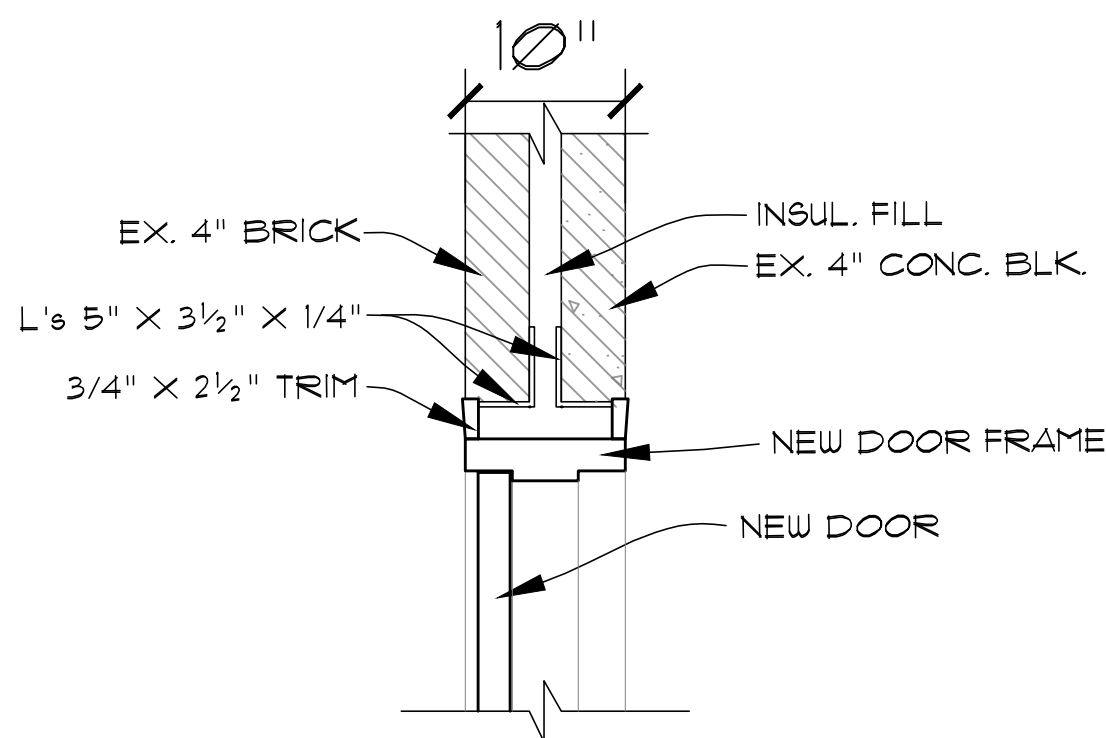
4 DETAIL
A-3 SCALE: 1" = 1'-0"



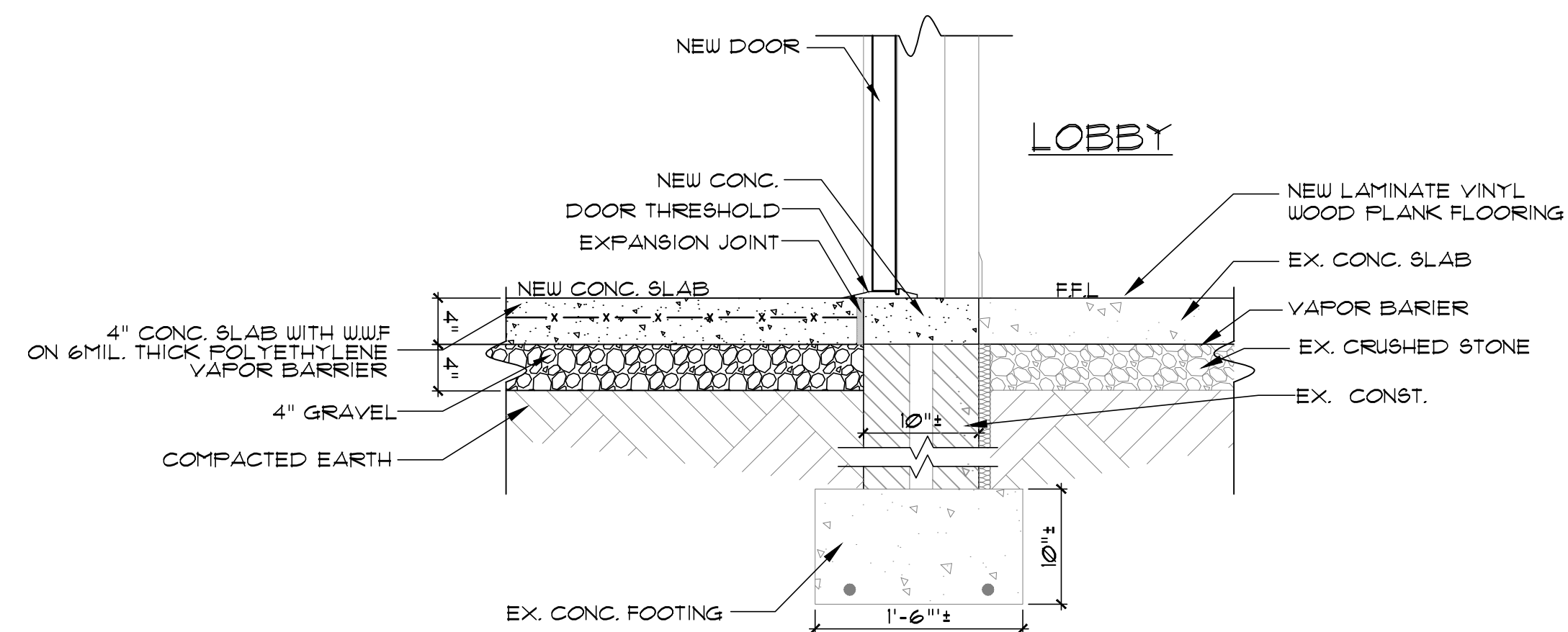
5 DETAIL
A-3 SCALE: 1/2" = 1'-0"



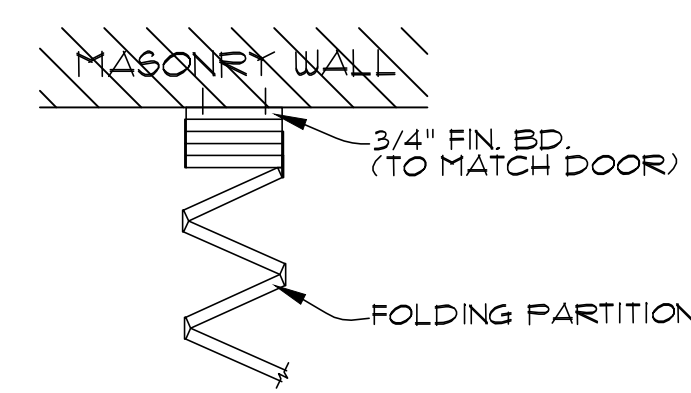
6 DETAIL
A-3 SCALE: 1" = 1'-0"



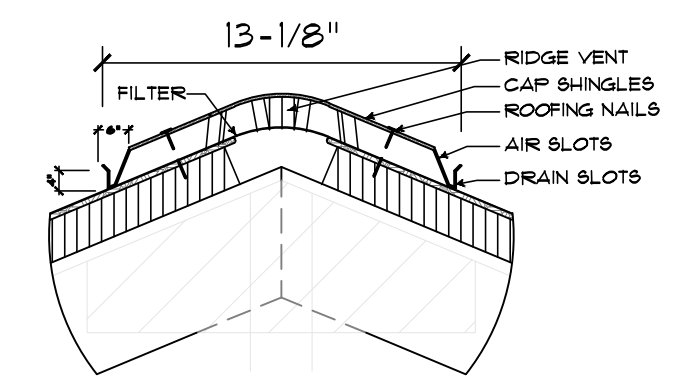
7 DETAIL
A-3 SCALE: 1" = 1'-0"



8 DETAIL
A-3 SCALE: 1" = 1'-0"



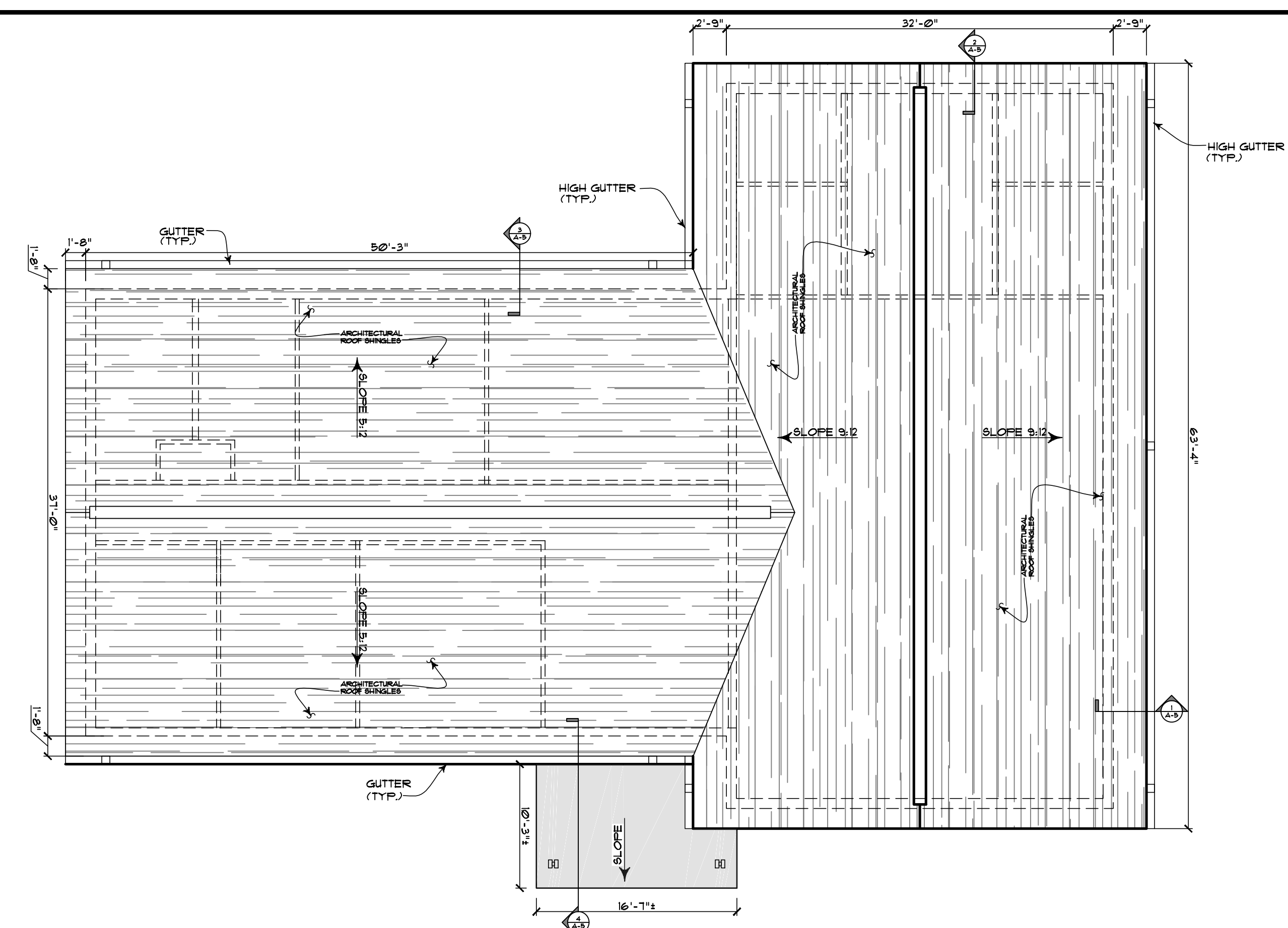
9 ENLARGED DETAIL
A-3 SCALE: 1" = 1'-0"



10 RIDGE VENT
A-3 SCALE: 1" = 1'-0"

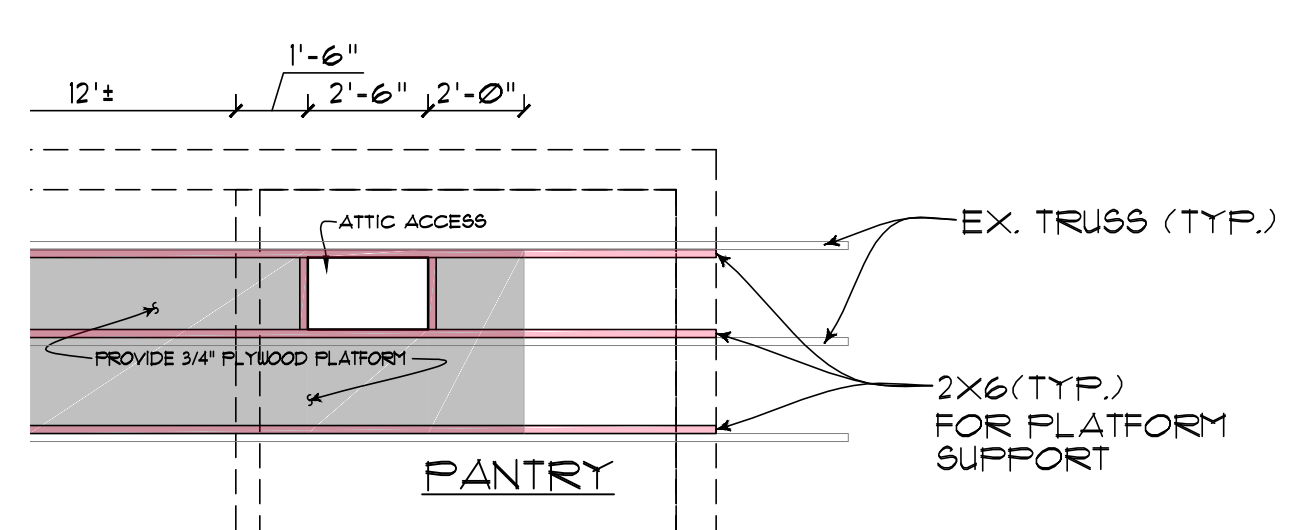
REVISIONS	DATE	JOB NO. G-945	DATE APRIL, 2024	DRAWN BY	CHECKED BY
RENOVATIONS CELIA PHILIPS MEMORIAL UNITED METHODIST CHURCH 3109 Groomstown Rd, Greensboro, NC 27407					
CLINTON E. GRAVELLY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS / PLANNERS 324 WEST WENDOVER AVENUE SUIT 401 GREENSBORO, NORTH CAROLINA 27408 (336) 275-9885 FAX (336) 275-9885 E-MAIL ADDRESS info@clgravellyarchitect.com					
SHEET A-3 OF 8					

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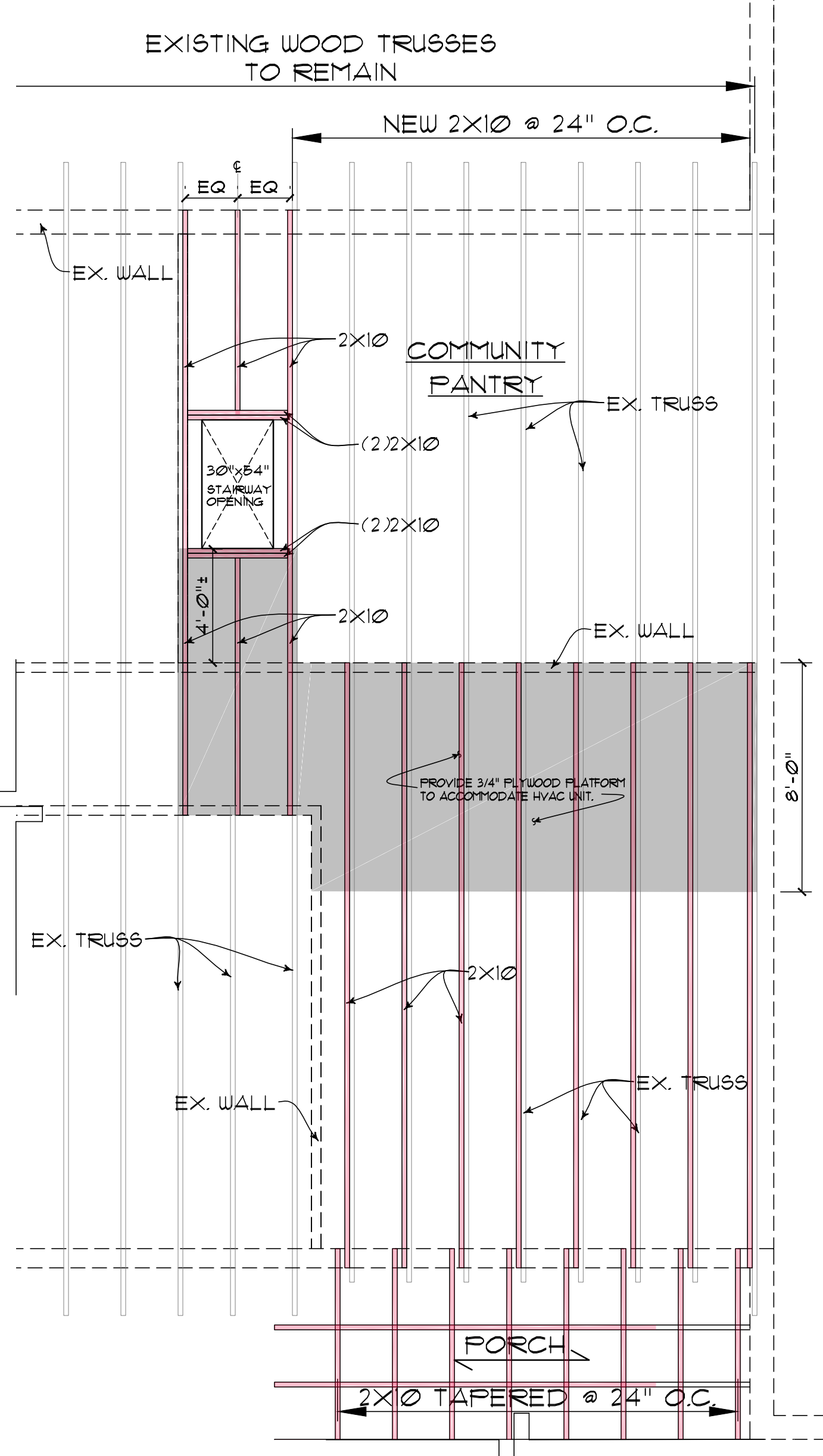


1 ROOF PLAN
A-4 SCALE: 1/8" = 1'-0"

- GENERAL NOTES:
1. ROOF PITCH OF MULTI-PURPOSE AREA IS 9:12.
 2. ROOF PITCH OF CLASSROOMS AND OFFICE AREA IS 5:12 (MATCH EXISTING).
 3. MANUFACTURE'S TRUSS LAYOUT TO BE ON SITE FOR FRAME INSPECTIONS.
 4. ALL TRUSSES TO BE PRE-ENGINEERED AND CARRY MANUFACTURE'S STAMP.
 5. ALL TRUSSES SHALL BE INSTALLED AND BRACED TO MANUFACTURE'S SPECIFICATIONS.

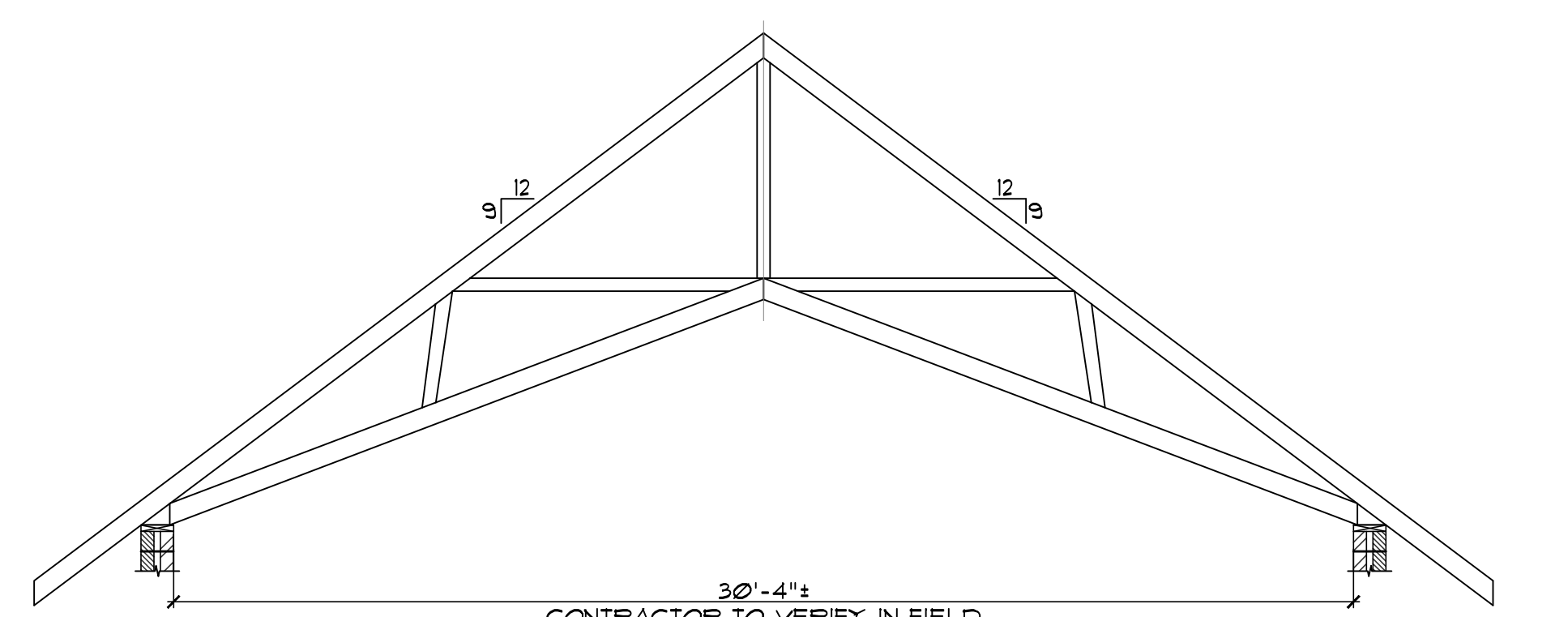


3 ATTIC ACCESS IN PANTRY
A-4 SCALE: 1/4" = 1'-0"

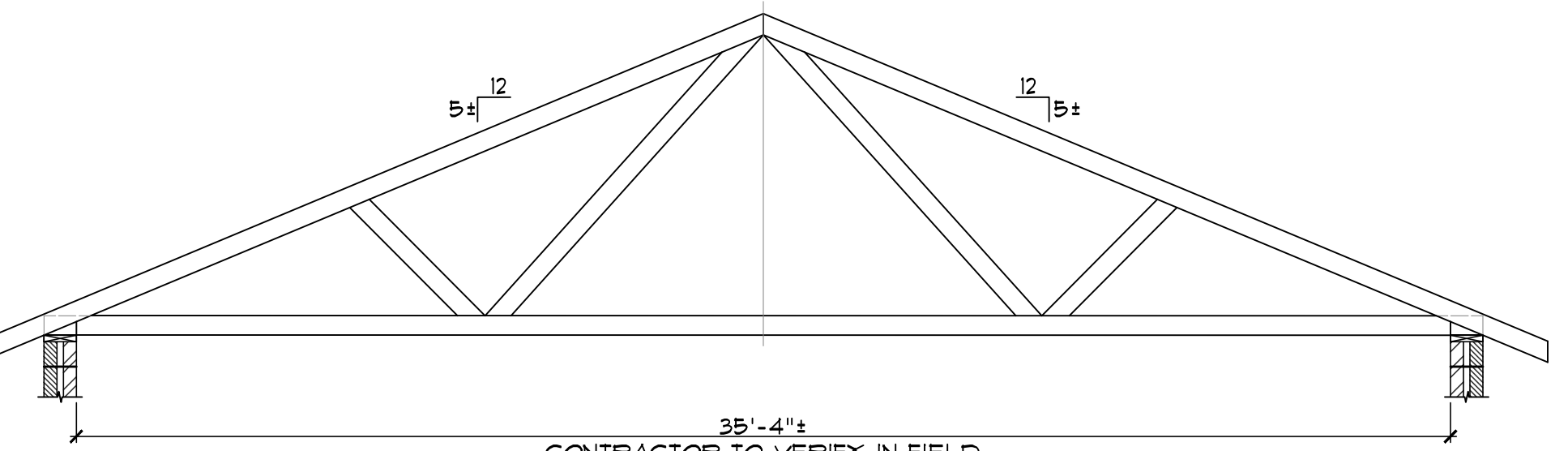


2 ROOF FRAMING PLAN
A-4 SCALE: 1/8" = 1'-0"

4 ROOF FRAMING SHOWING STAIRCASE OPENING IN COMMUNITY PANTRY
A-4 SCALE: 1/4" = 1'-0"

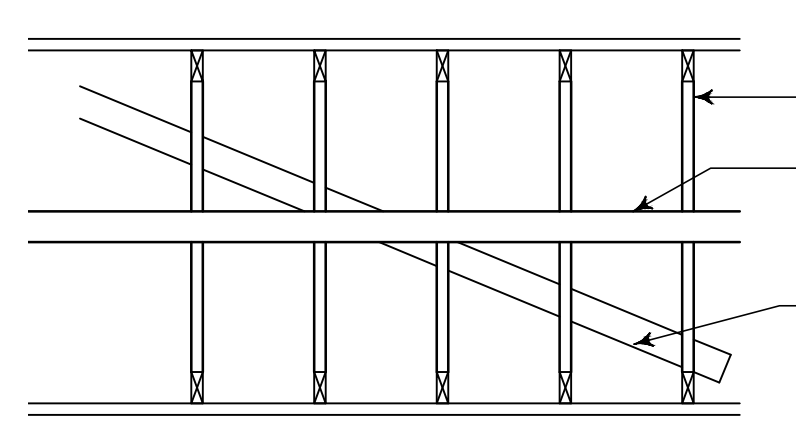


5 TRUSS T-1 (EXISTING)
A-4 SCALE: 1/4" = 1'-0"



6 TRUSS T-2 (EXISTING AND NEW TRUSSES)
A-4 SCALE: 1/4" = 1'-0"

NOTE: - NEW TRUSSES TO MATCH THE EXISTING



TYP. TRUSS DIAGONAL BRACING DETAIL
NOT TO SCALE

NOTE: Spacing of diagonal bracing shall not exceed 20 feet.

A. Submit shop drawing for approval by Architect/Engineer prior to fabrication of wood trusses. Prepare and submit in accordance with requirements as set forth in general conditions section. All truss designs shall bear the name and seal of a professional engineer licensed to practice in North Carolina and shall include the following information: pitch, span, dimension and spacing of truss, truss bearing size and location, design loading of truss and allowable stress increase, axial forces in each truss member, nominal sizes and location of connector plates at all joints, size, species and grade of lumber for all truss members, camber, permanent lateral bracing required by design to reduce the buckling length of individual truss members and handling and erection recommendations. Wood trusses shall be designed for all dead and superimposed loads to which they may be subjected, including dead and live loads, and other loads such as HVAC equipment and ductwork, scullies, attic walkways, etc.

NOTE: Overall spans of trusses are shown above with 4" nominal bearing each end, 24" o.c. spacing, a live load distribution limited to L7040 maximum and use lumber properties as follows: 2x4 10:1200 psi, E = 1,800,000 psi; 2x6 10:1200 psi, E = 1,800,000 psi; 2x8 10:1200 psi, E = 1,800,000 psi; 2x10 10:1200 psi, E = 1,800,000 psi.

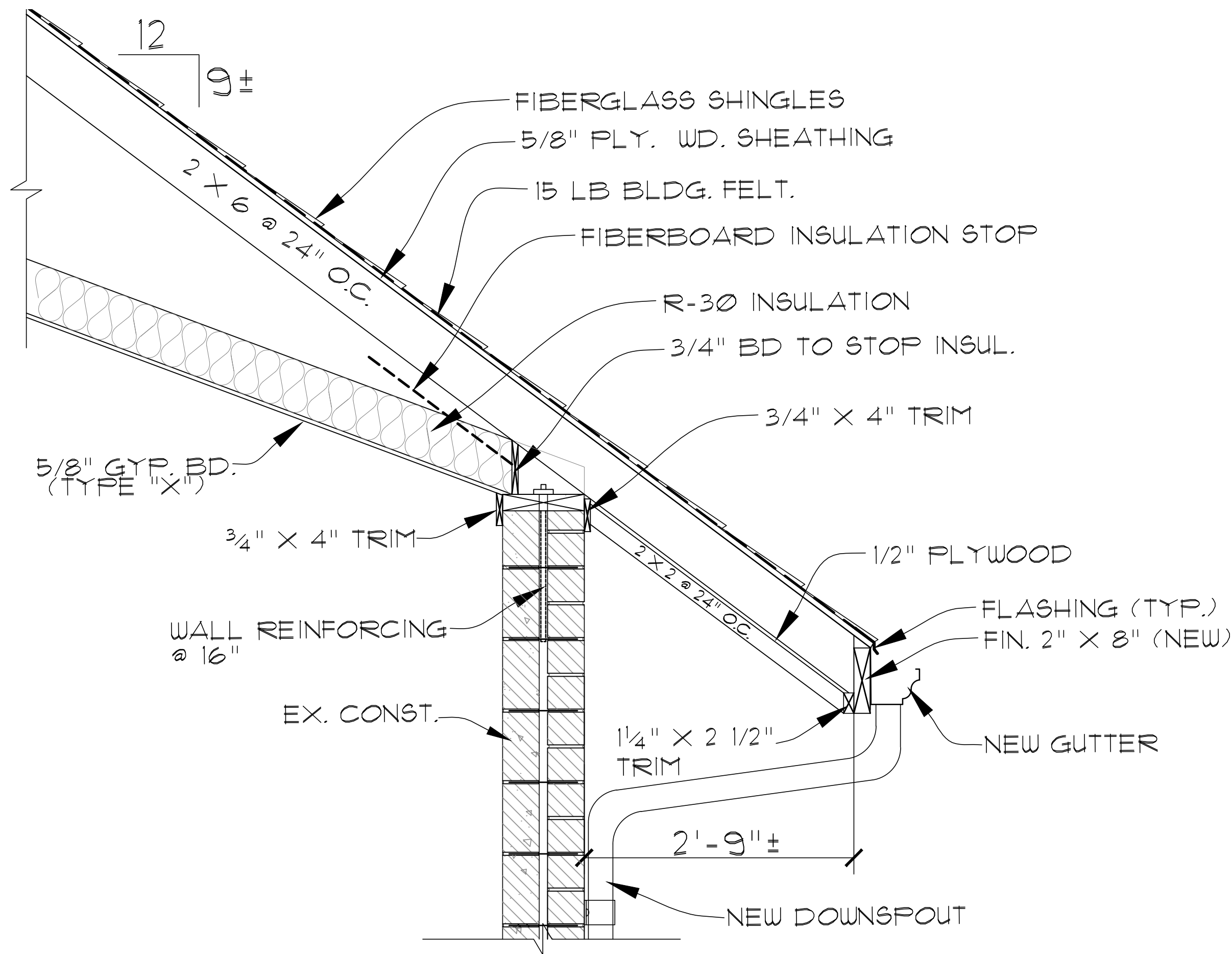
ATTIC VENTILATION CALCULATIONS						
VENTILATING AREA (CONVERTING FROM Sq. In. TO Sq. Ft.)			NOTE: Sq. In. PROVIDED BY MANUFACTURE OF PRODUCT			
GAF-ELK COBRA RIDGE RUNNER OR APPROVED EQUAL			RIDGE VENT = 12.5 Sq. In. * (1/144) = 0.0868 Sq. Ft.			
ALSIDE ALLIANCE T4 PREMIUM VINYL SOFFIT OR APPROVED EQUAL			SOFFIT VENT = 7.0 Sq. In. * (1/144) = 0.0486 Sq. Ft.			
	Sq. Ft. * (1/150) = REQUIRED VENTILATING AREA (UNHEATED)		RIDGE VENT = Lin. Ft. * 0.0868 Sq. Ft. = VENT CAPACITY			
	Sq. Ft. * (1/300) = REQUIRED VENTILATING AREA (HEATED)		SOFFIT VENT = Lin. Ft. * 0.0486 Sq. Ft. = VENT CAPACITY			
LOCATION	SQUARE FEET (UNDER ROOF)	UNHEATED (1/150) (REQUIRED)	HEATED (1/300) (REQUIRED)	VENT TYPE	LINEAR FEET (OF PRODUCT)	VENT CAPACITY (OF PRODUCT)
FLOOR PLAN	3877.4 Sq. Ft.		12.92 Sq. Ft.	RIDGE VENT	-	-
				SOFFIT VENT	-	-

KEY TO FLOOR PLANS	
	EXISTING TRUSS
	NEW 2X10 @ 24" O.C.
	3/4" PLYWOOD PLATFORM
	ATTIC ACCESS
	EXIST WALL

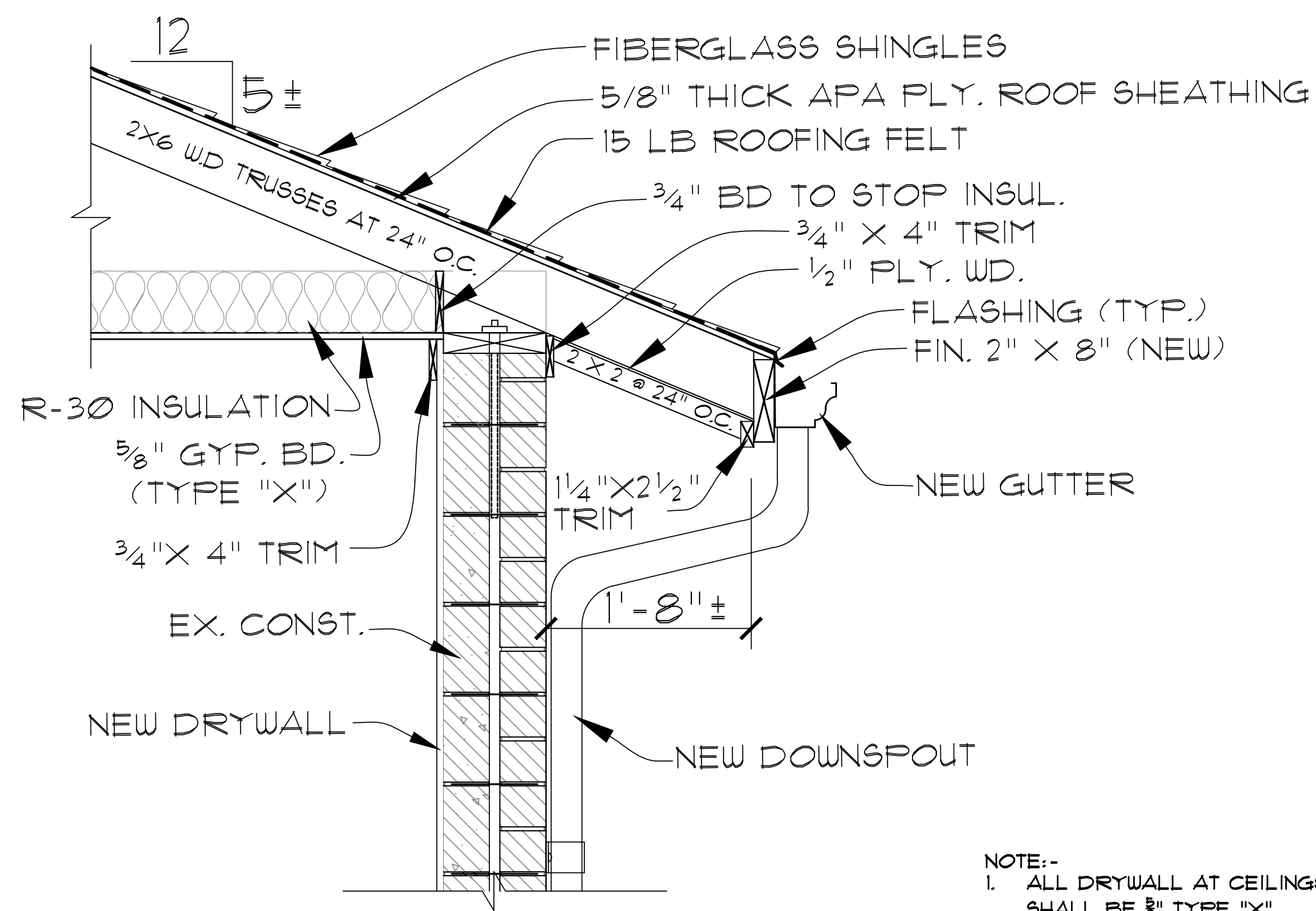
ROOF PLAN, ROOF FRAMING PLAN, TRUSSES AND ENLARGED DETAILS

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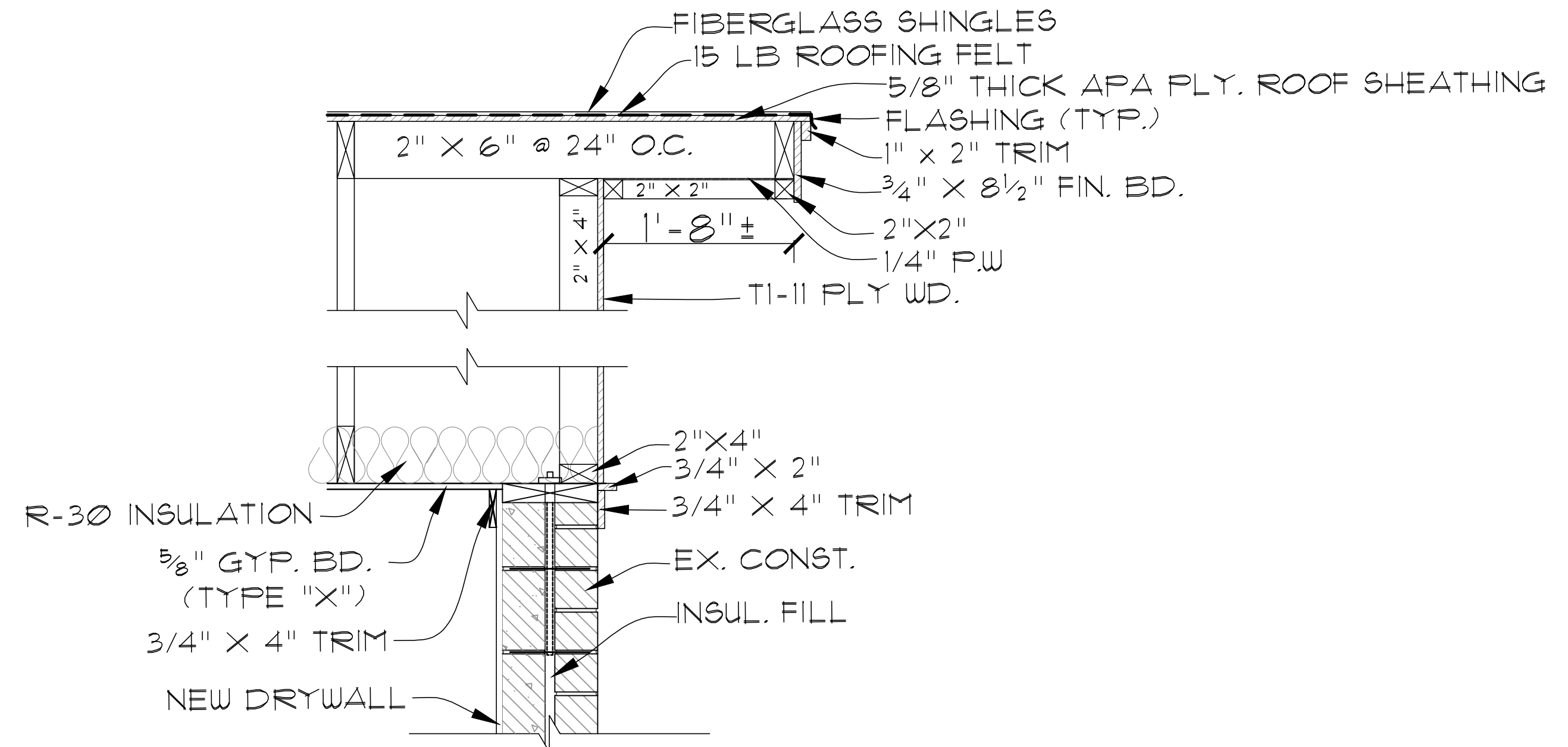


1 DETAIL SECTION
A-5 SCALE: 1" = 1'-0"

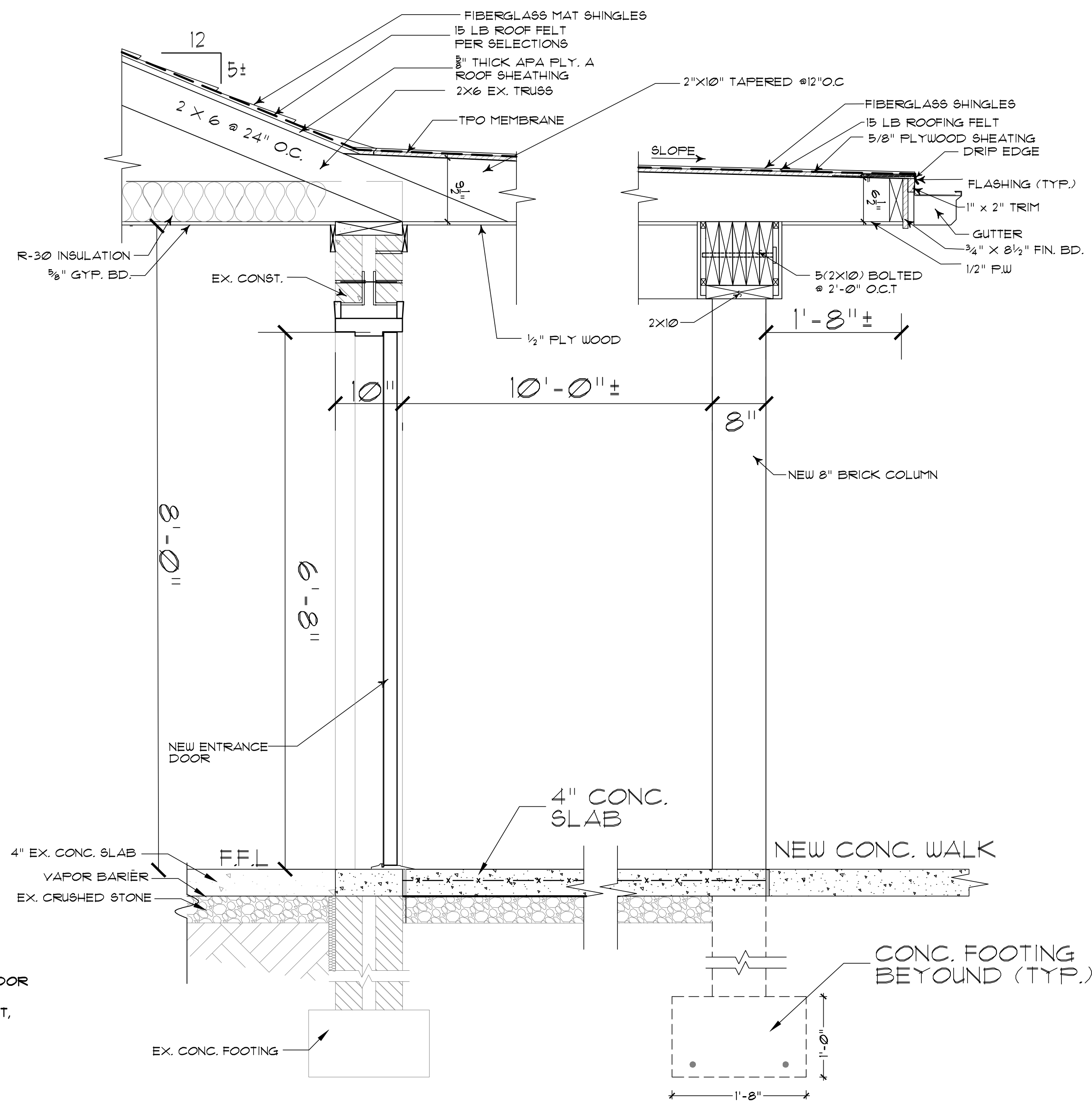


3 DETAIL SECTION
A-5 SCALE: 1" = 1'-0"

NOTE:-
1. ALL DRYWALL AT CEILINGS AND CORRIDOR SHALL BE 5/8" TYPE "X".
2. ALL SHEATHING, FASCIA BOARDS, SOFFIT, TRIM ETC. SHALL BE NEW.



2 DETAIL SECTION
A-5 SCALE: 1" = 1'-0"

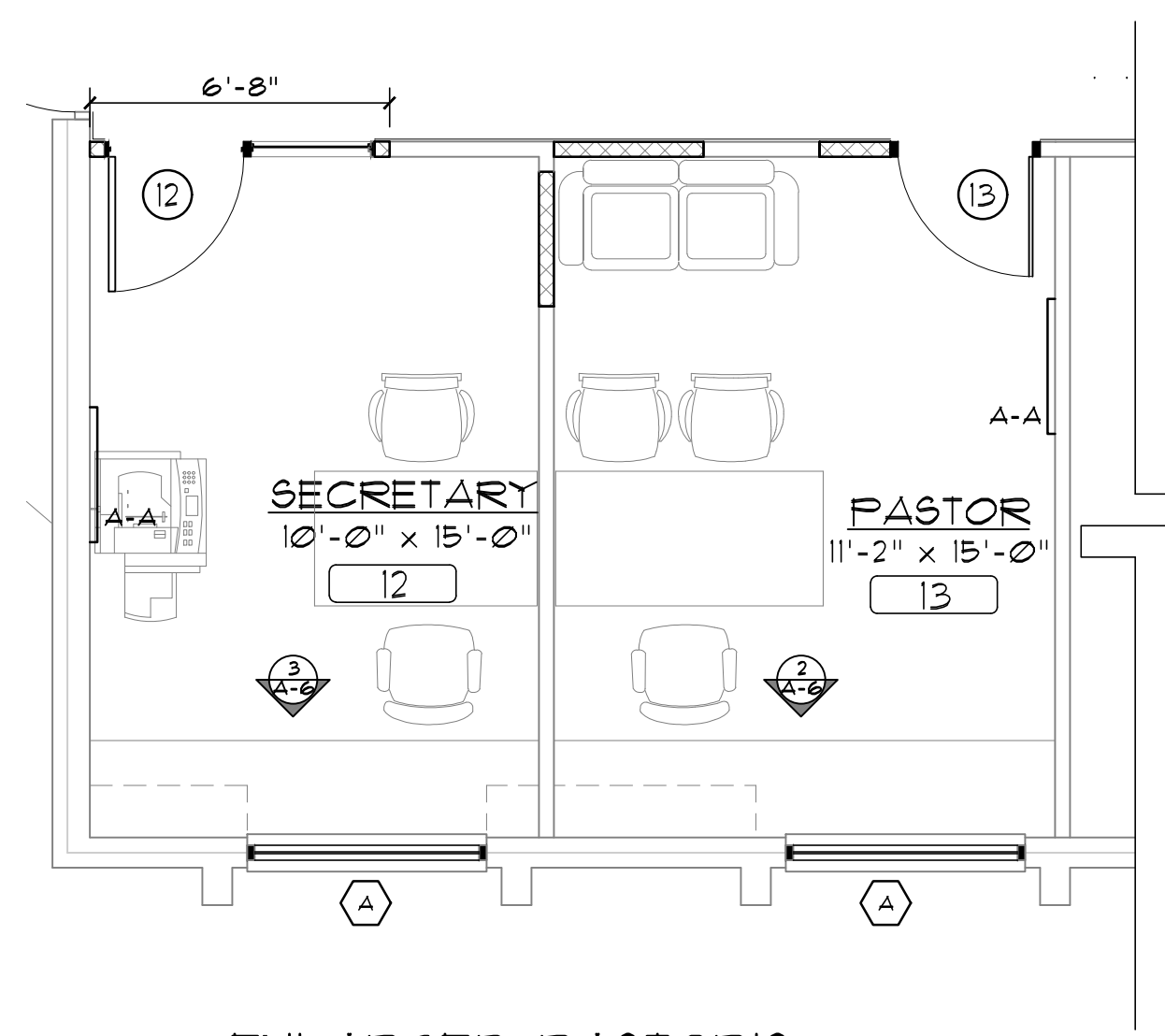


4 WALL SECTION
A-5 SCALE: 1" = 1'-0"

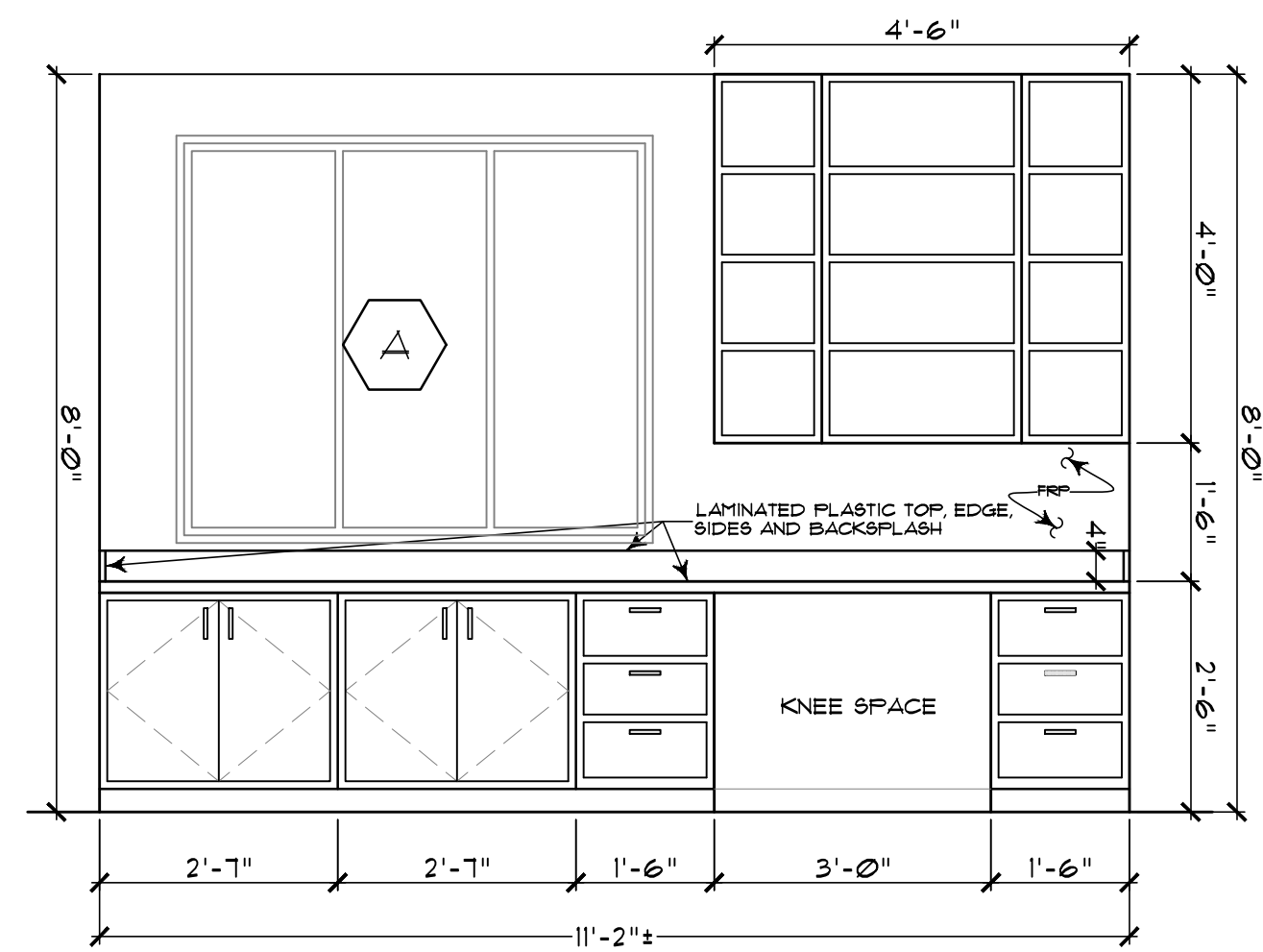
DETAILS AND WALL SECTION

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SHEET A-5 OF 8			

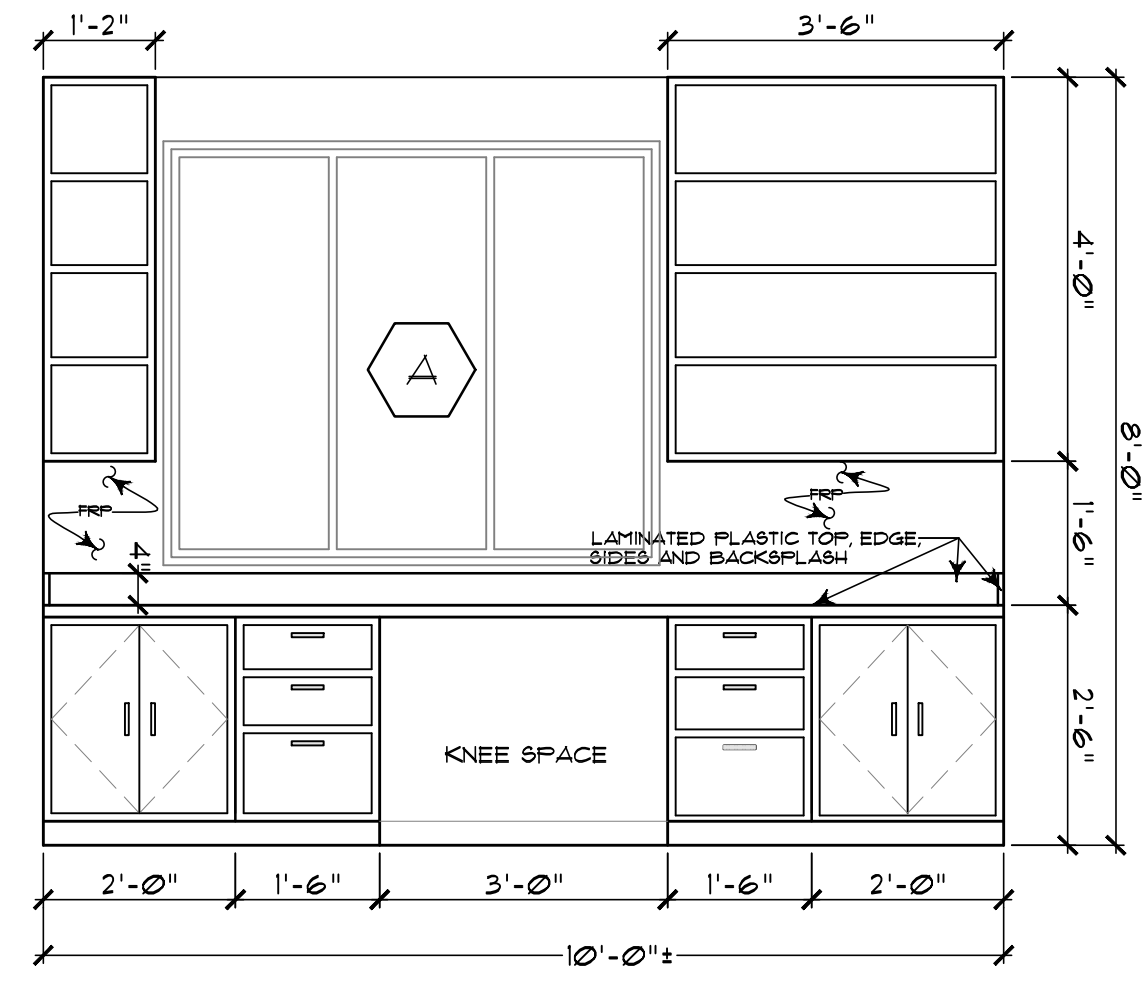
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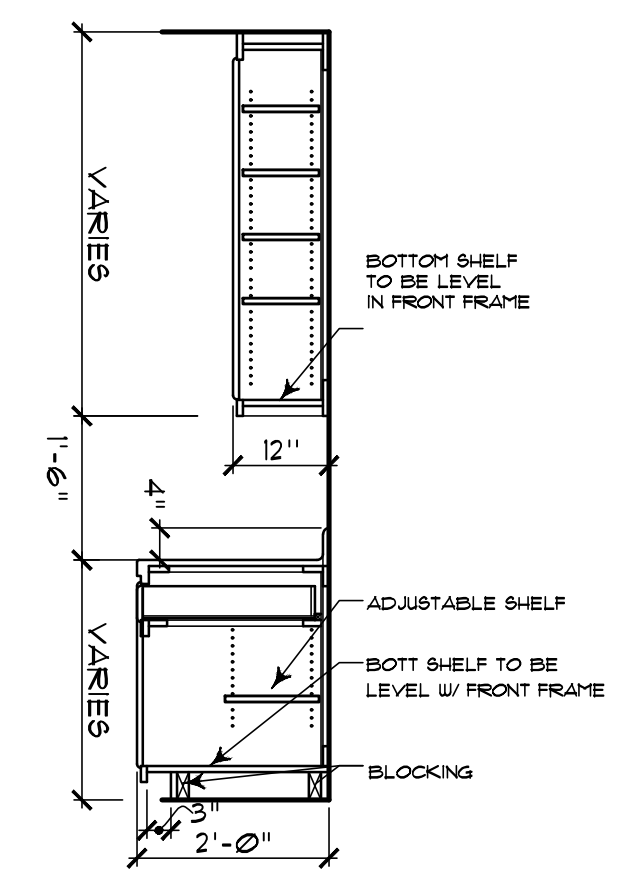
1 ENLARGED PASTOR'S AND SECRETARY'S OFFICE'S
A-6 SCALE: 1/4" = 1'-0"



2 PASTOR'S OFFICE
A-6 SCALE: 1/2" = 1'-0"

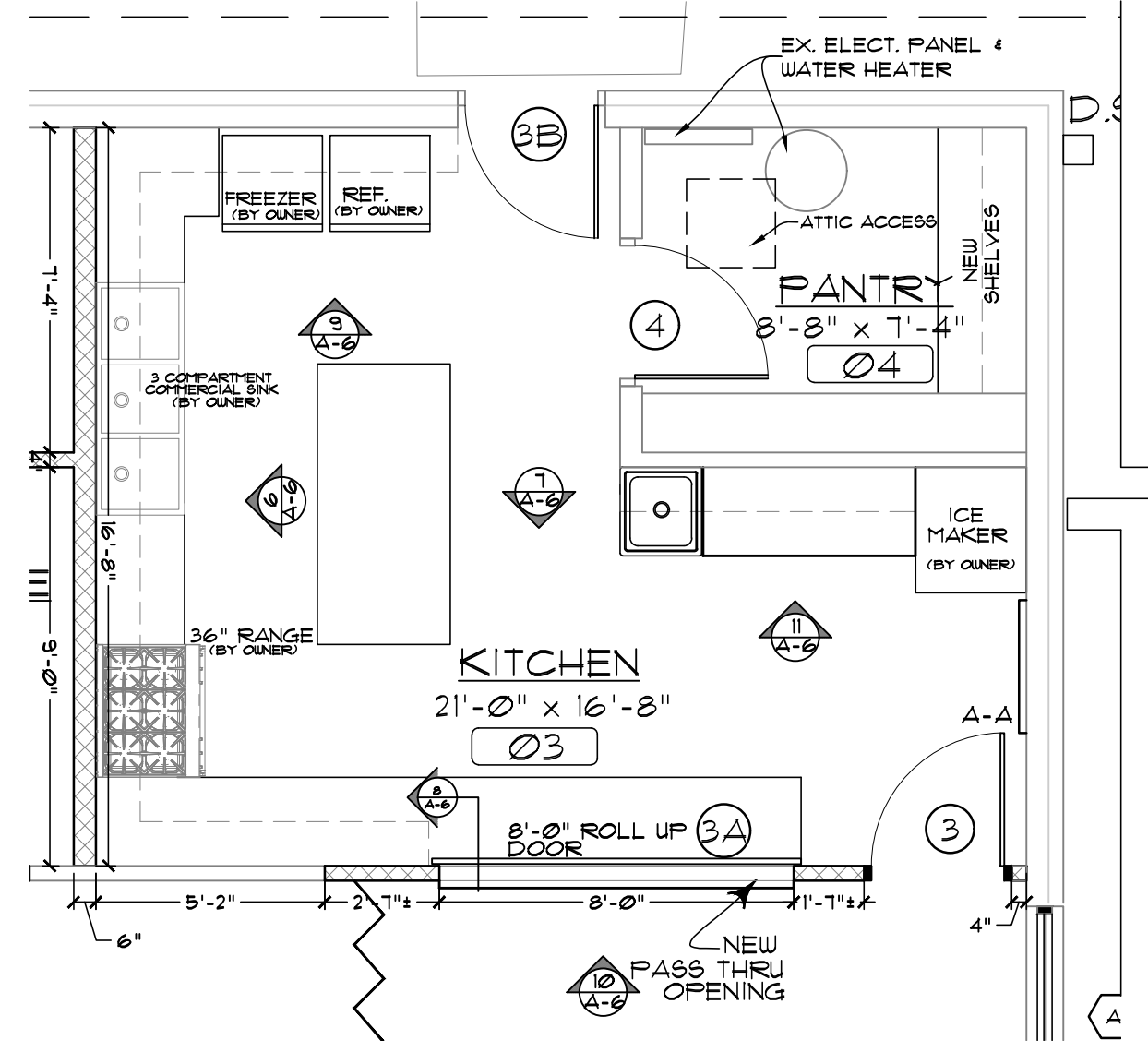


3 SECRETARY'S OFFICE
A-6 SCALE: 1/2" = 1'-0"

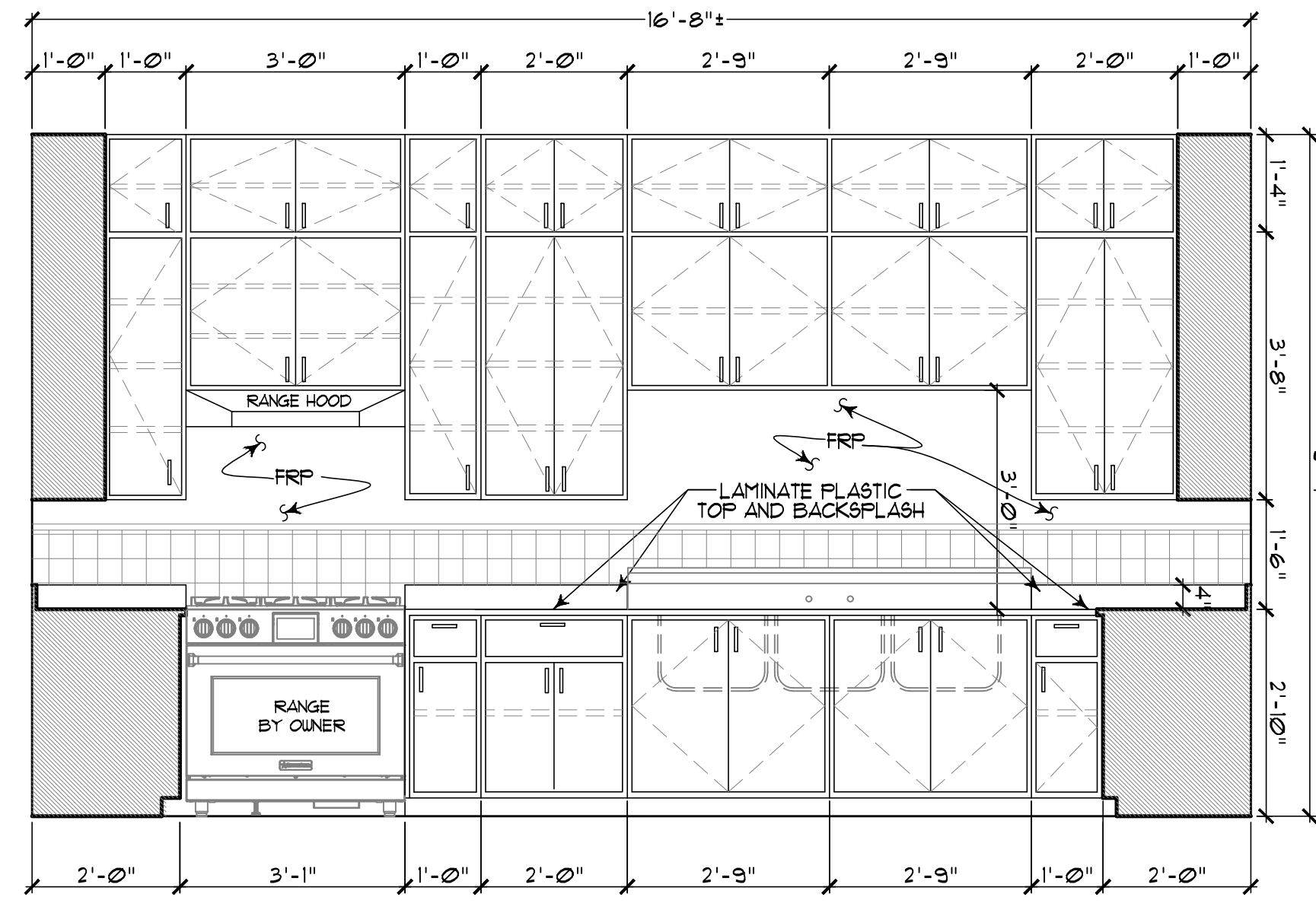


4 TYPICAL SECTION THRU CABINET
A-6 SCALE: 1/2" = 1'-0"

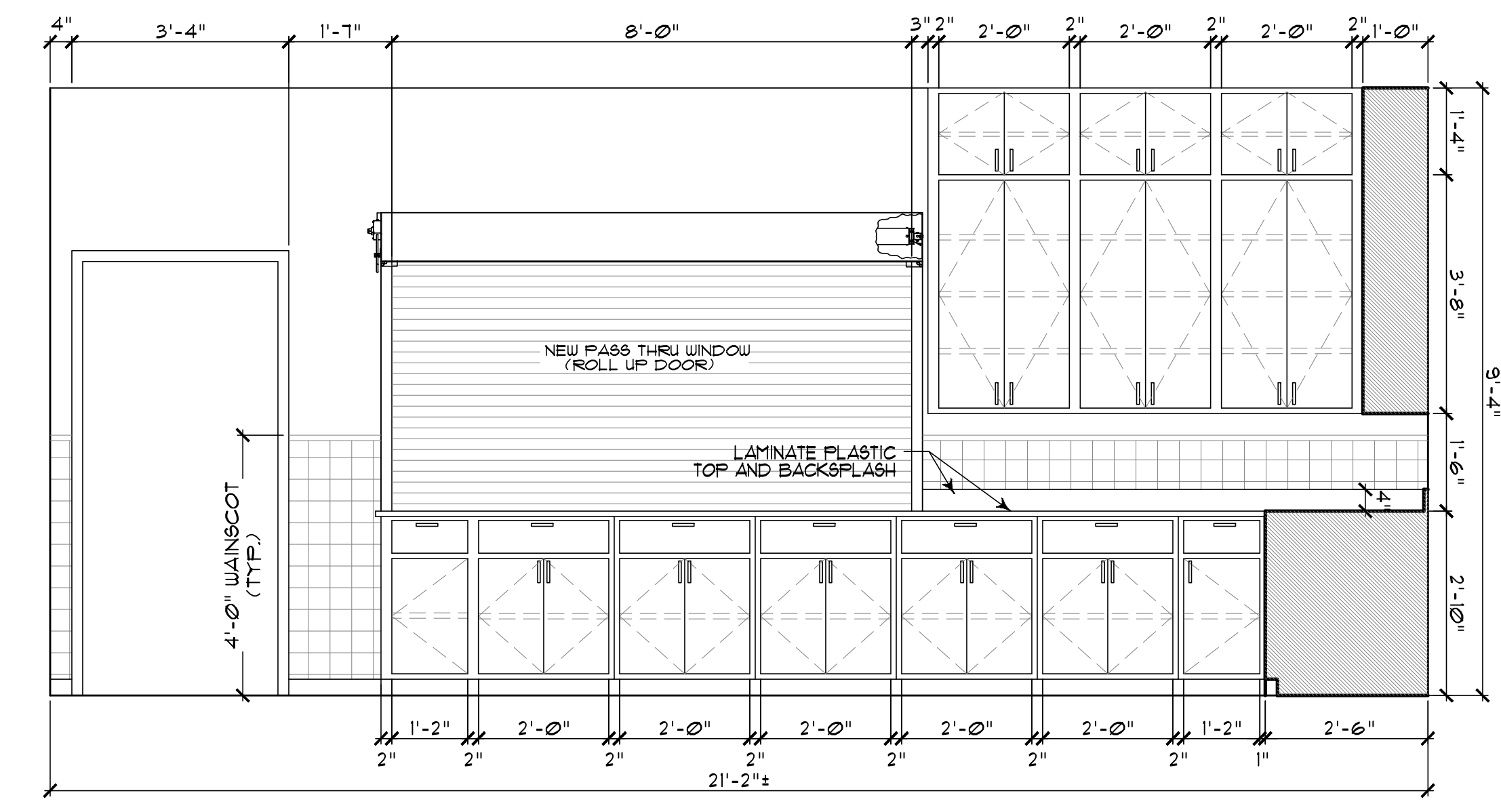
NOTE: ALL CABINETS SHALL BE PREMIUM GRADE OR CUSTOM GRADE BIRCH



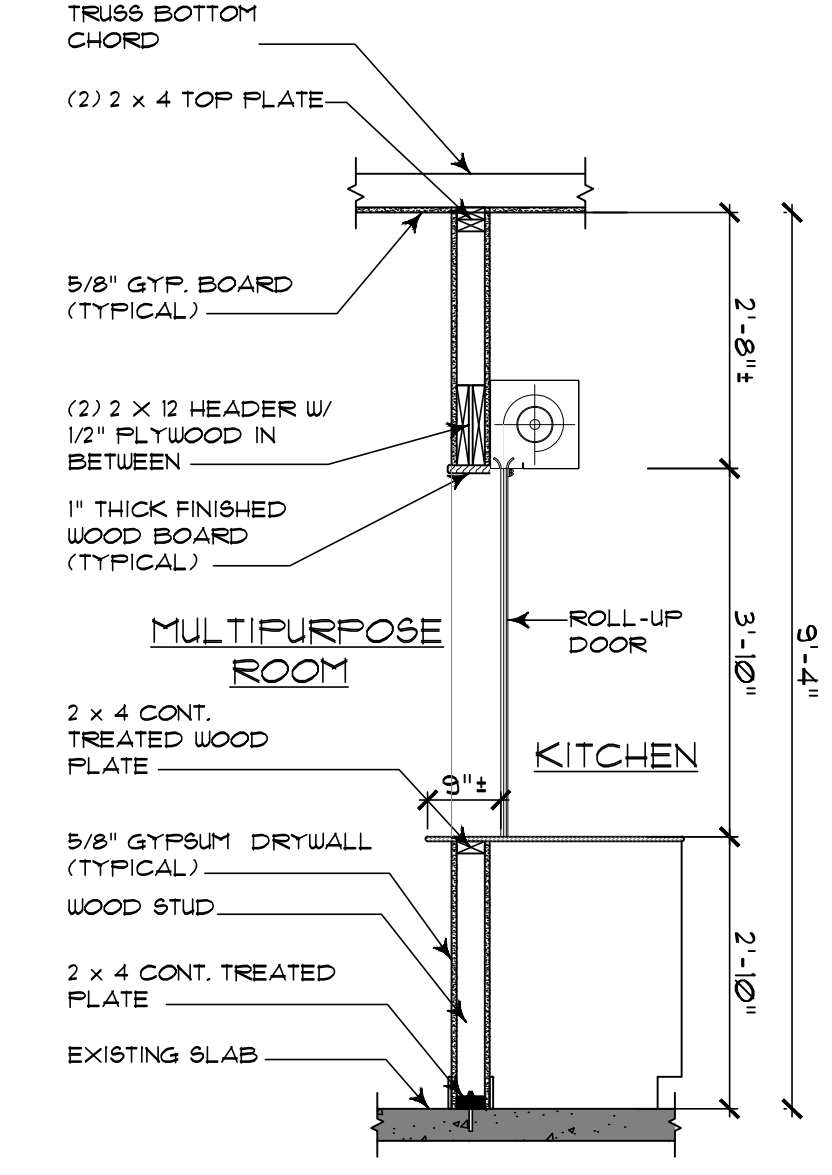
5 ENLARGED KITCHEN
A-6 SCALE: 1/4" = 1'-0"



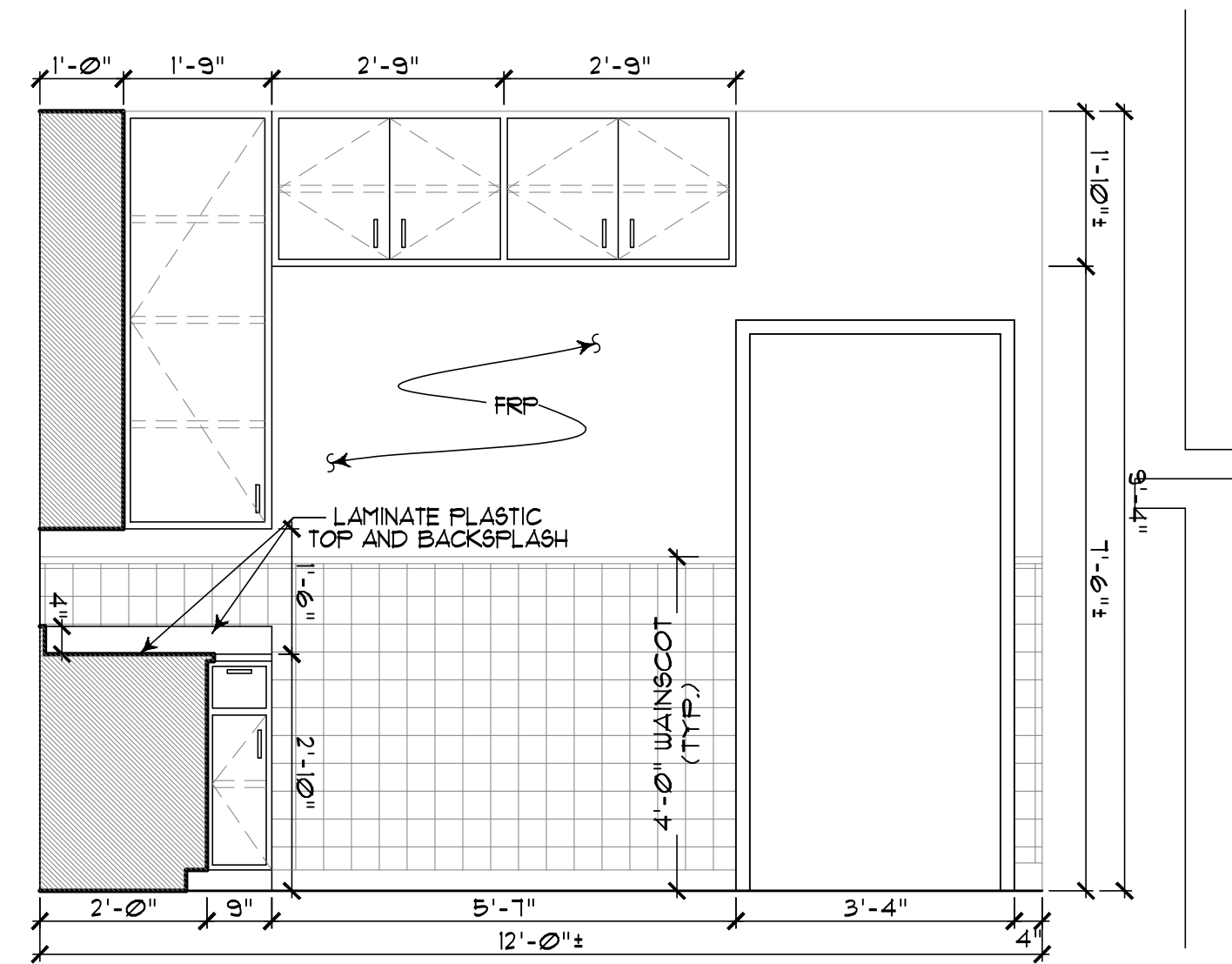
6 ELEVATION AT KITCHEN
A-6 SCALE: 1/2" = 1'-0"



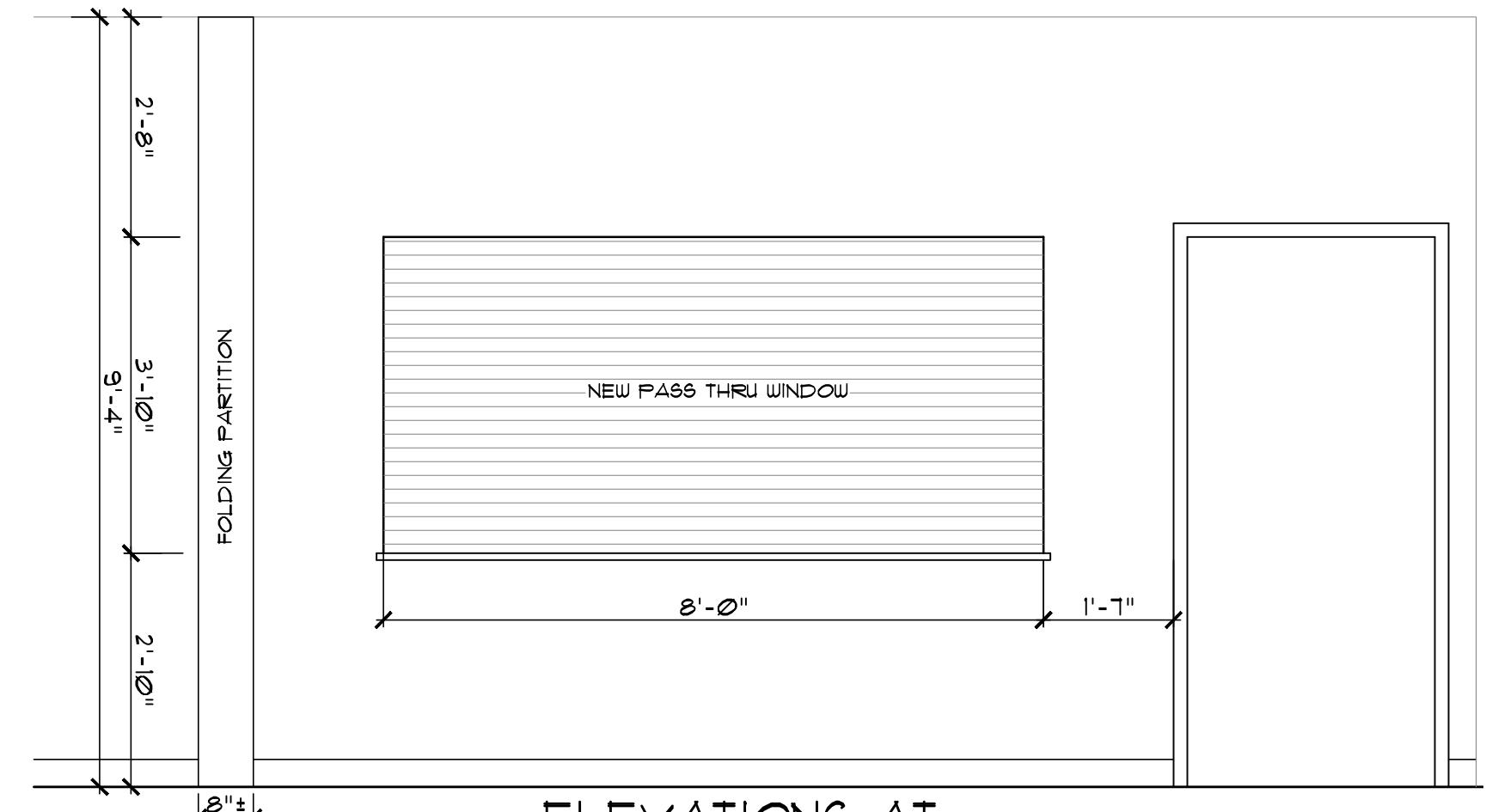
7 ELEVATION AT KITCHEN
A-6 SCALE: 1/2" = 1'-0"



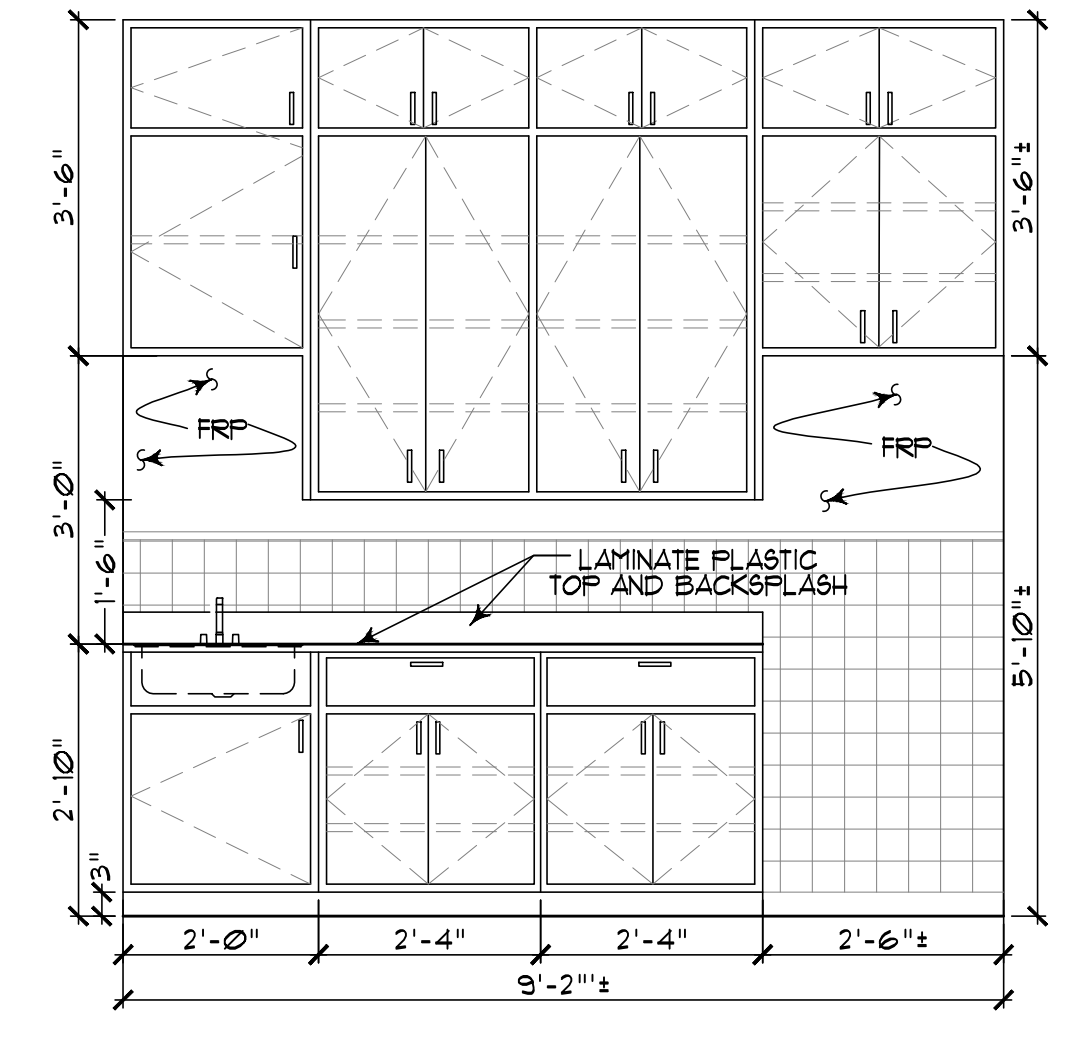
8 SECTION AT PASS THRU
A-6 SCALE: 1/2" = 1'-0"



9 ELEVATION AT KITCHEN
A-6 SCALE: 1/2" = 1'-0"



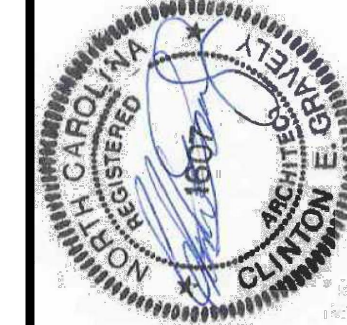
10 ELEVATIONS AT PASS THRU WINDOW
A-6 SCALE: 1/2" = 1'-0"



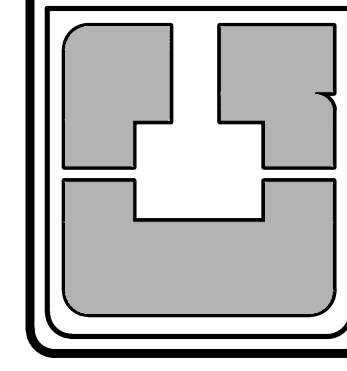
11 ELEVATION AT KITCHEN
A-6 SCALE: 1/2" = 1'-0"

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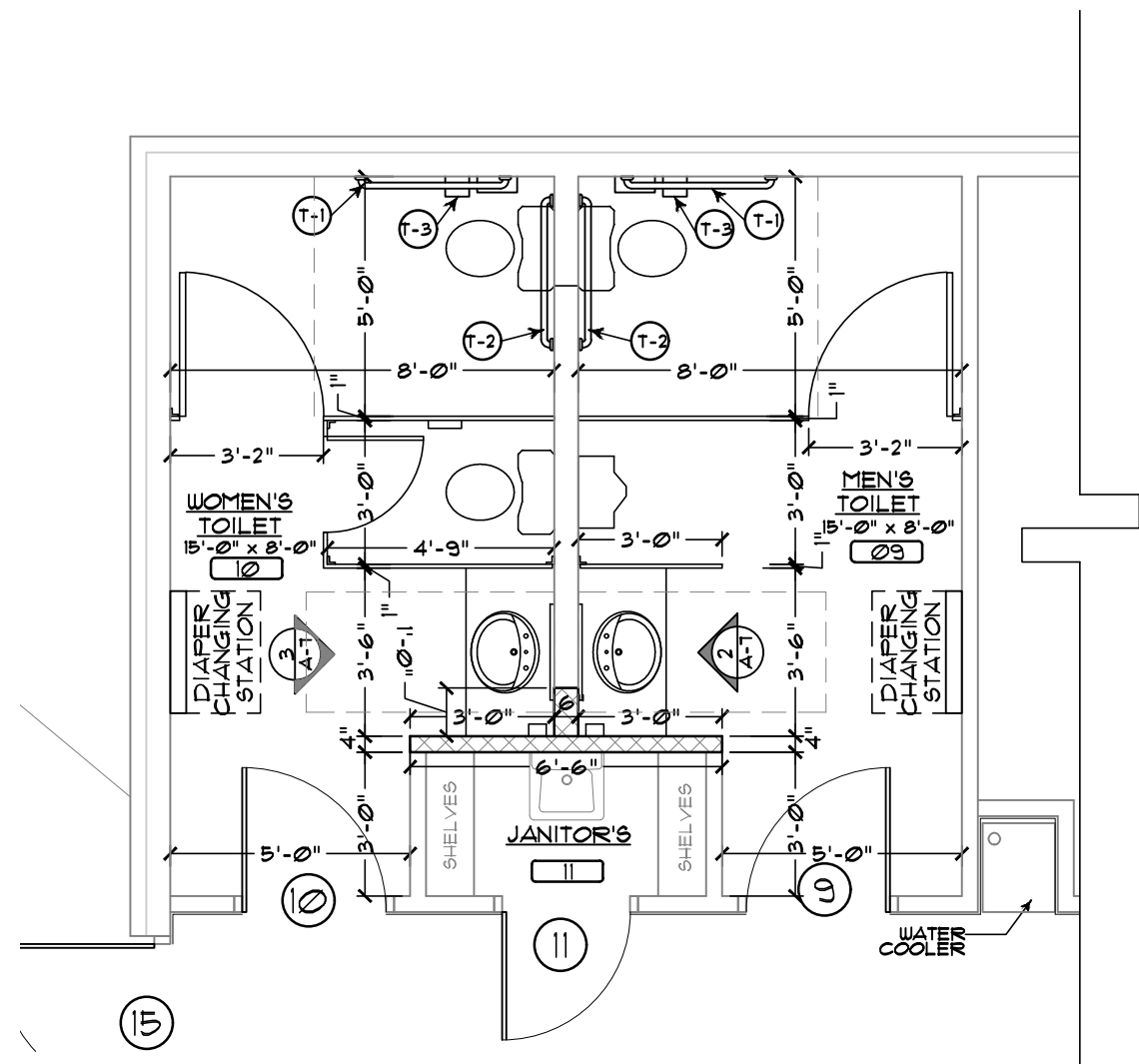
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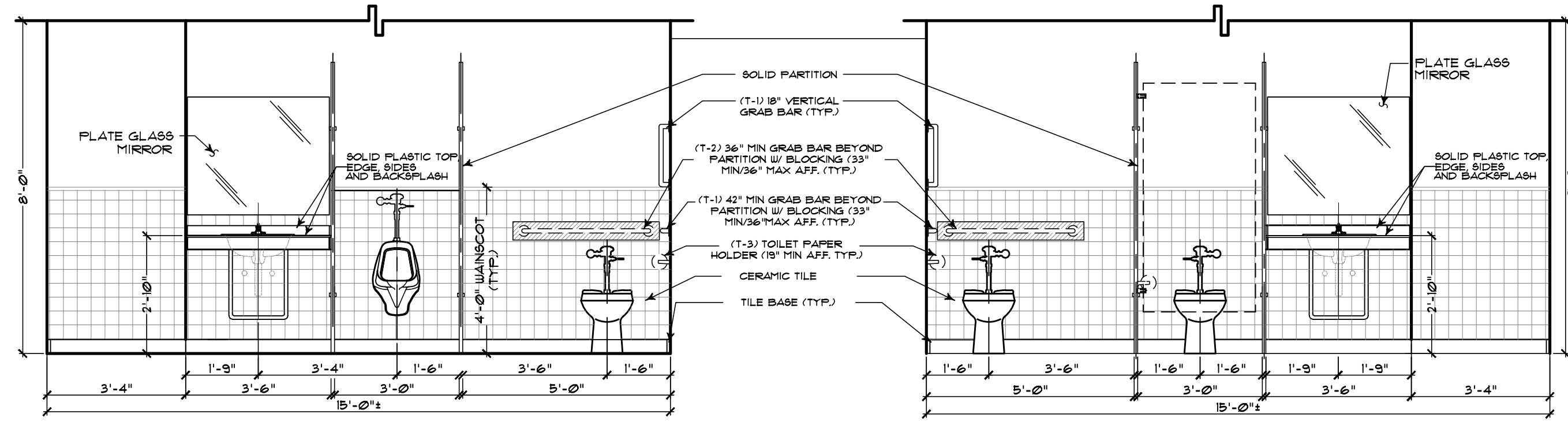
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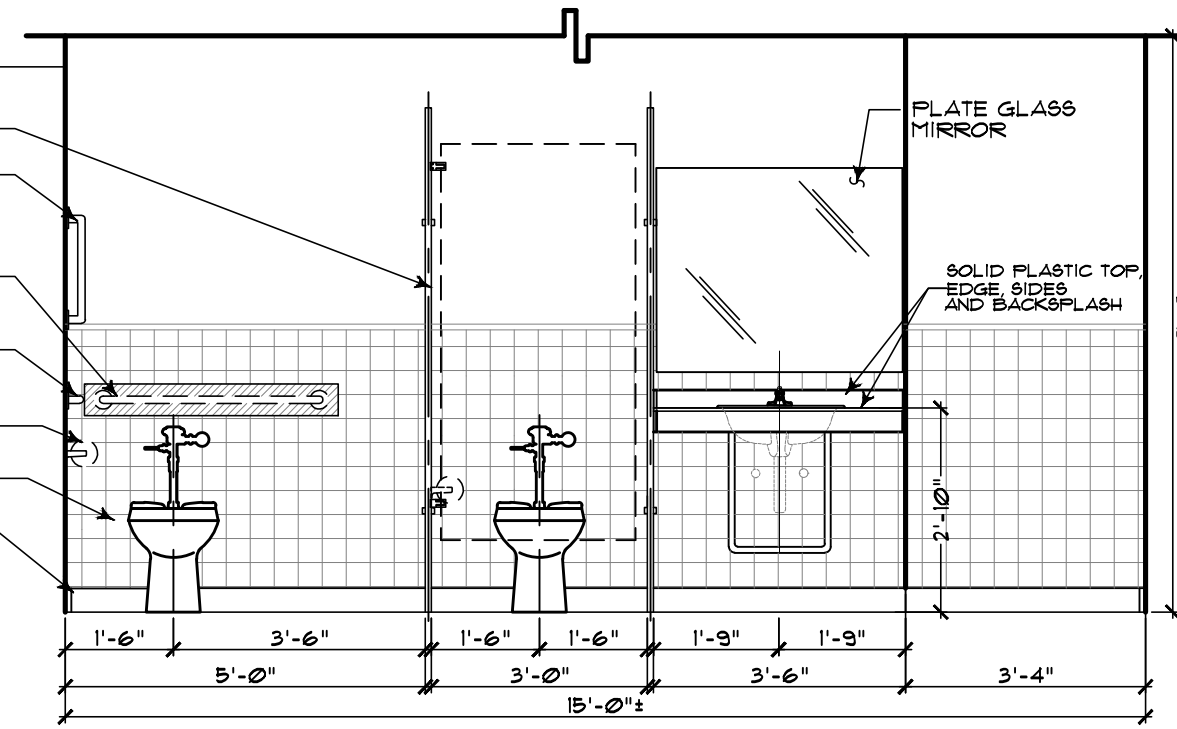
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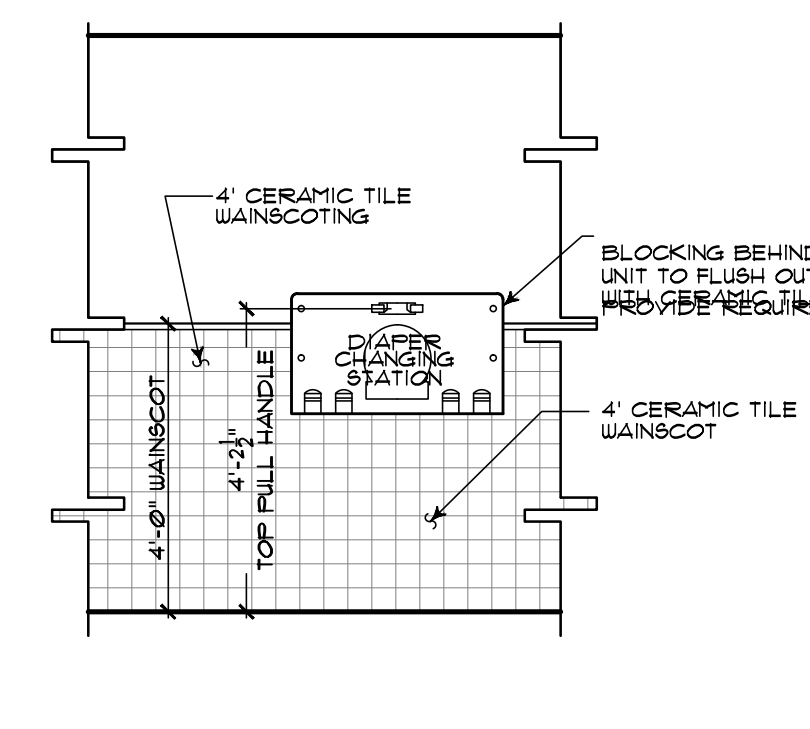
1 ENLARGED TOILET PLAN
SCALE: 1/4" = 1'-0"



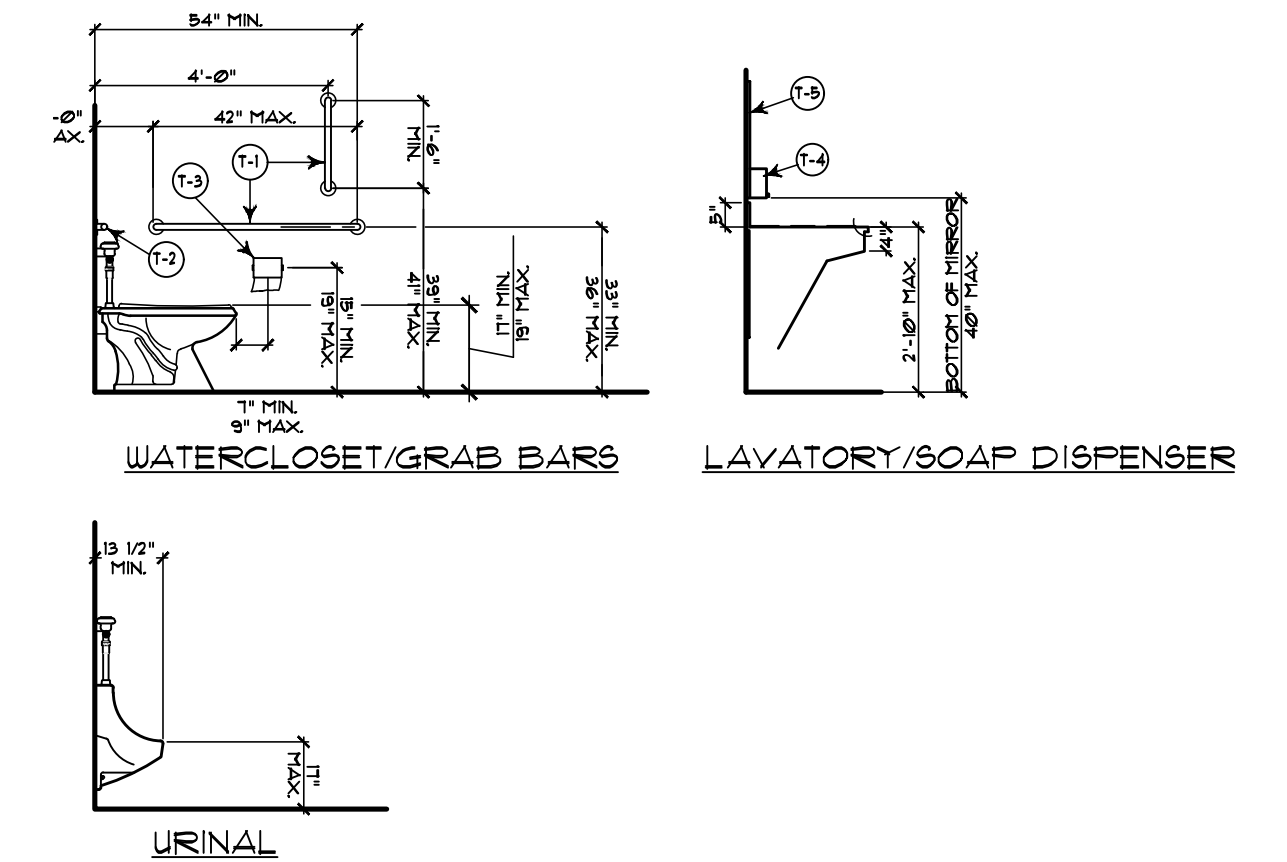
2 ELEVATIONS AT MEN'S TOILET
SCALE: 3/8" = 1'-0"



3 ELEVATIONS AT WOMEN'S TOILET
SCALE: 3/8" = 1'-0"



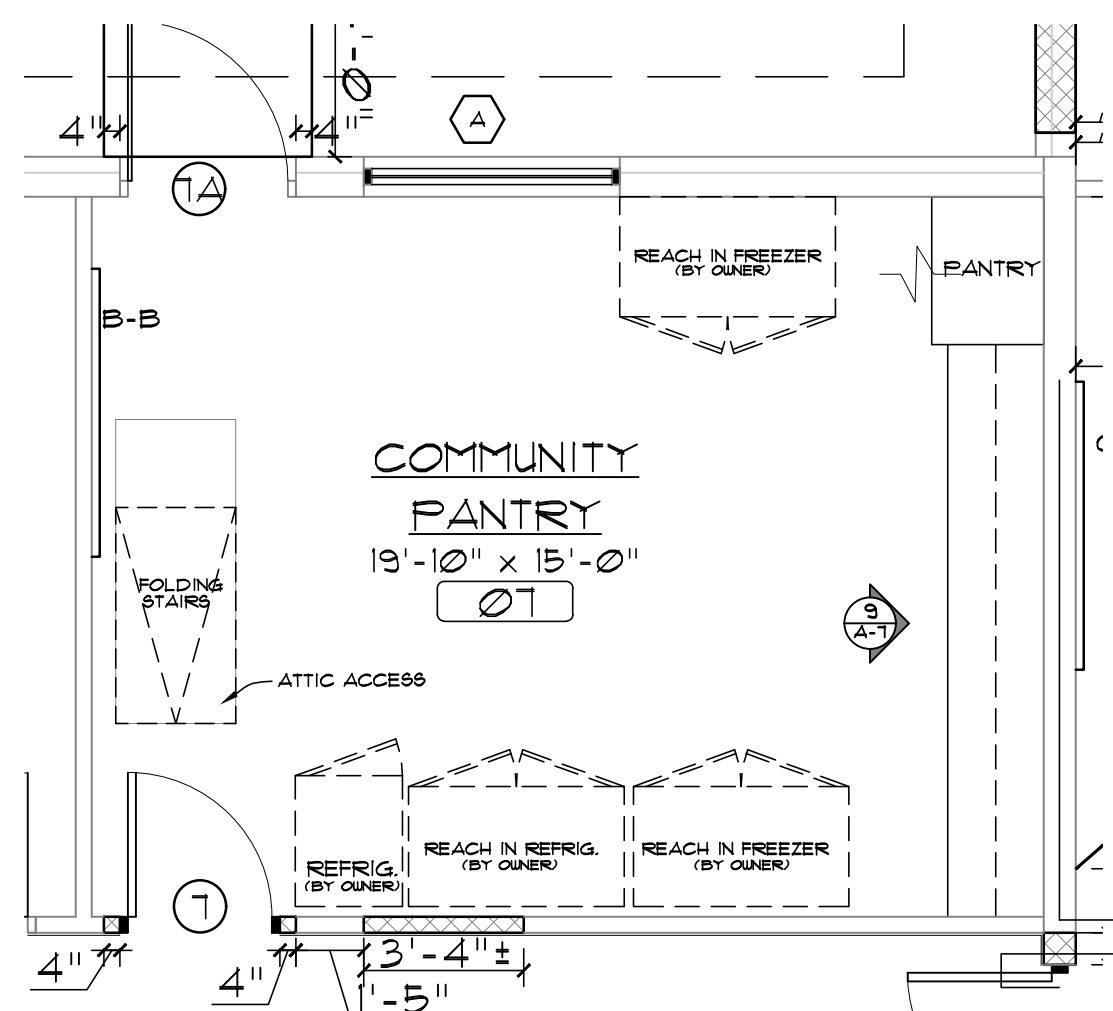
4 ELEVATION AT DIAPER CHANGING STATION
SCALE: 3/8" = 1'-0"



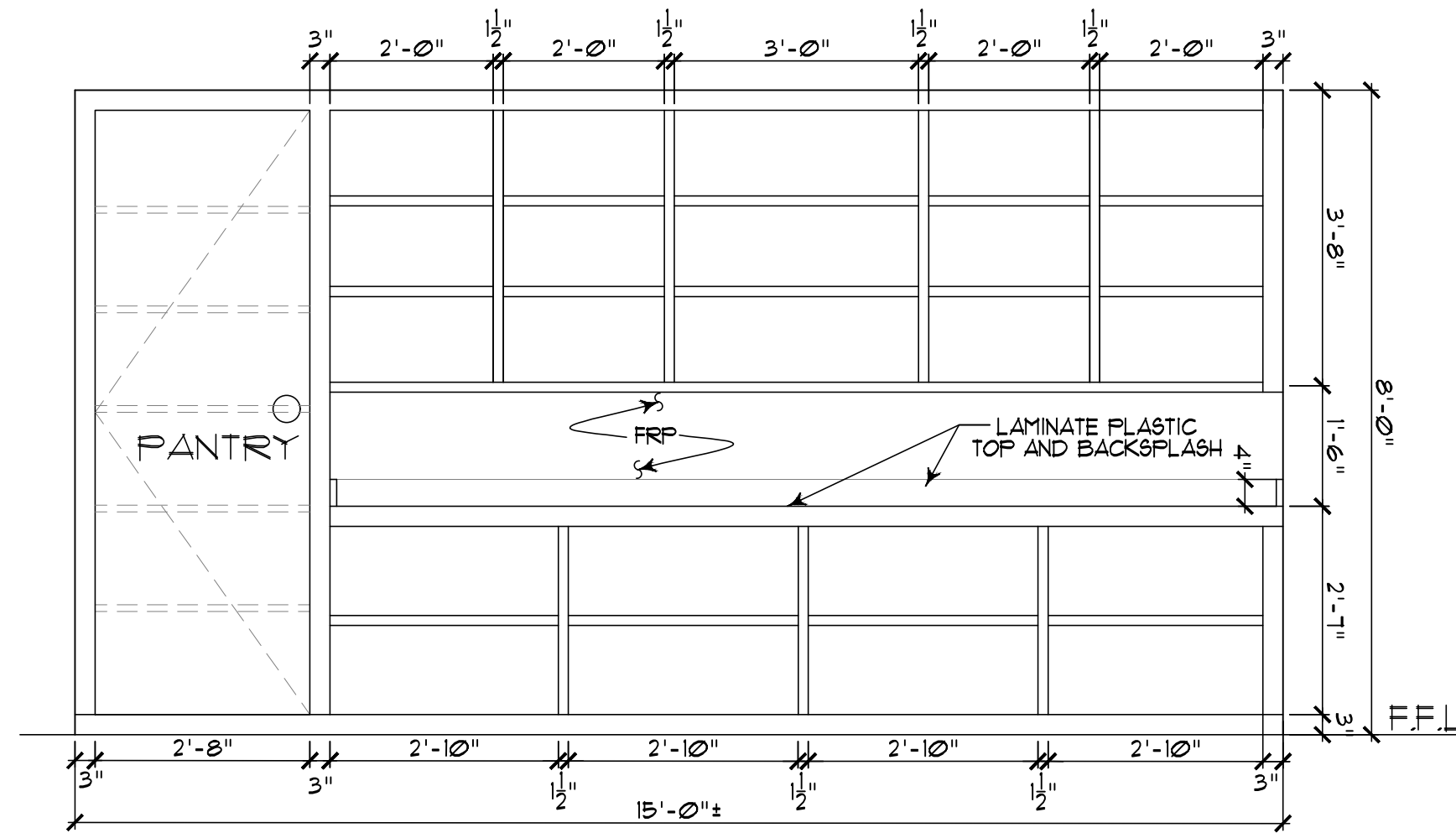
5 WATERCLOSET/GRAB BARS, LAVATORY/SOAP DISPENSER, URINAL, and FIXTURE AND ACCESSORY MOUNTING

TOILET ACCESSORY LEGEND

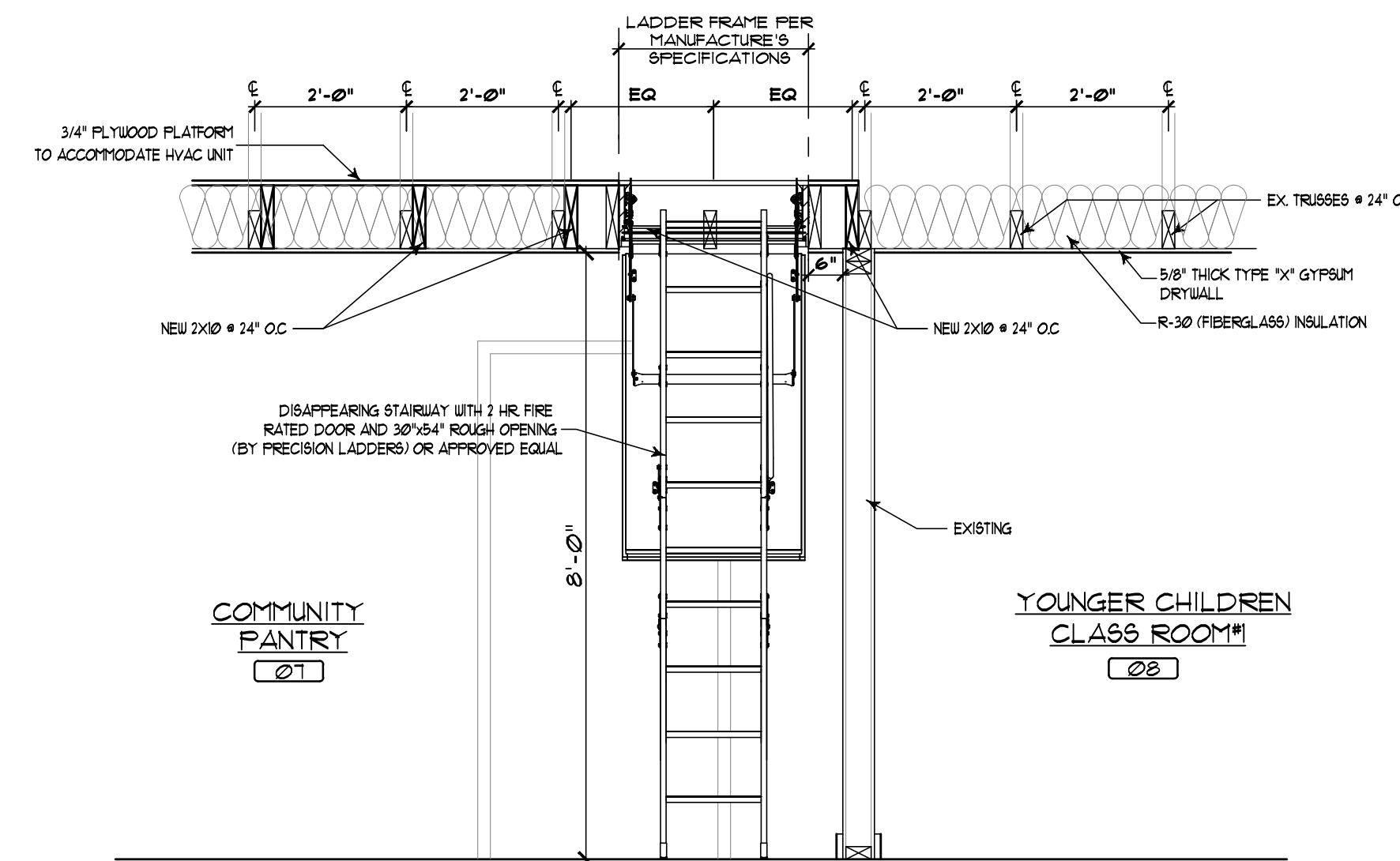
- (1) 42" SIDEWALL GRAB BAR AND 18" VERTICAL GRAB BAR MOUNTED
- (2) 36" REAR WALL GRAB BAR (MOUNT 6" MAX FROM SIDE WALL)
- (3) TOILET TISSUE DISPENSER TO BE SUPPLIED AND MOUNTED BY OWNER
- (4) HAND SOAP DISPENSER TO BE SUPPLIED AND MOUNTED BY OWNER
- (5) 5 1/2" x 3 1/2" FLATED GLASS MIRROR TO BE SUPPLIED AND MOUNTED BY OWNER
- (6) PAPER TOWEL DISPENSERS SUPPLIED AND MOUNTED BY OWNER



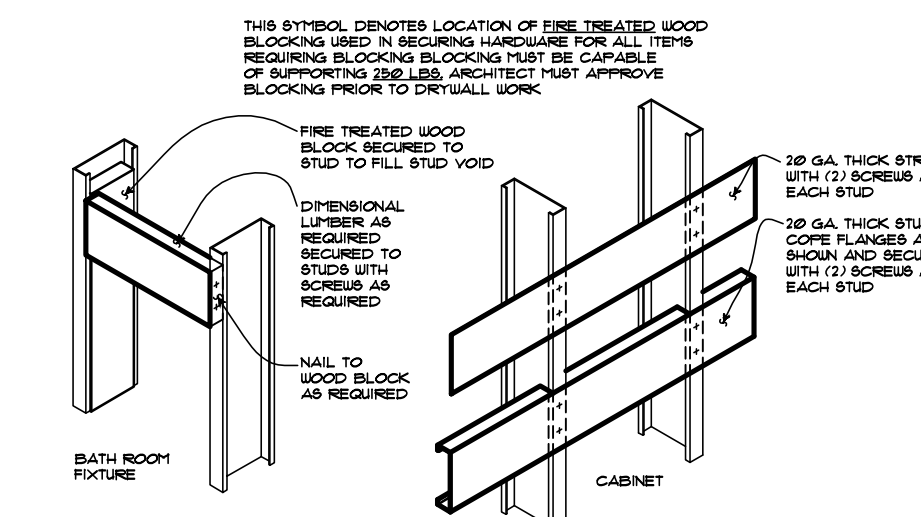
6 ENLARGED COMMUNITY PANTRY
SCALE: 1/4" = 1'-0"



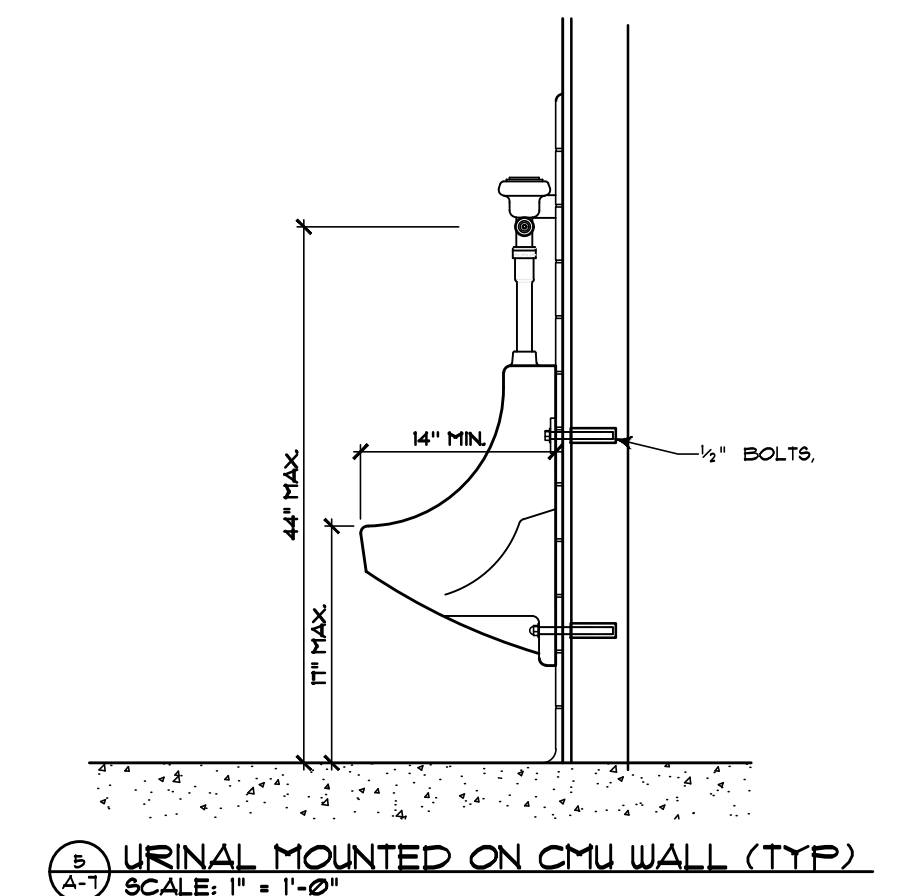
7 ELEVATION AT COMMUNITY PANTRY
SCALE: 1/2" = 1'-0"



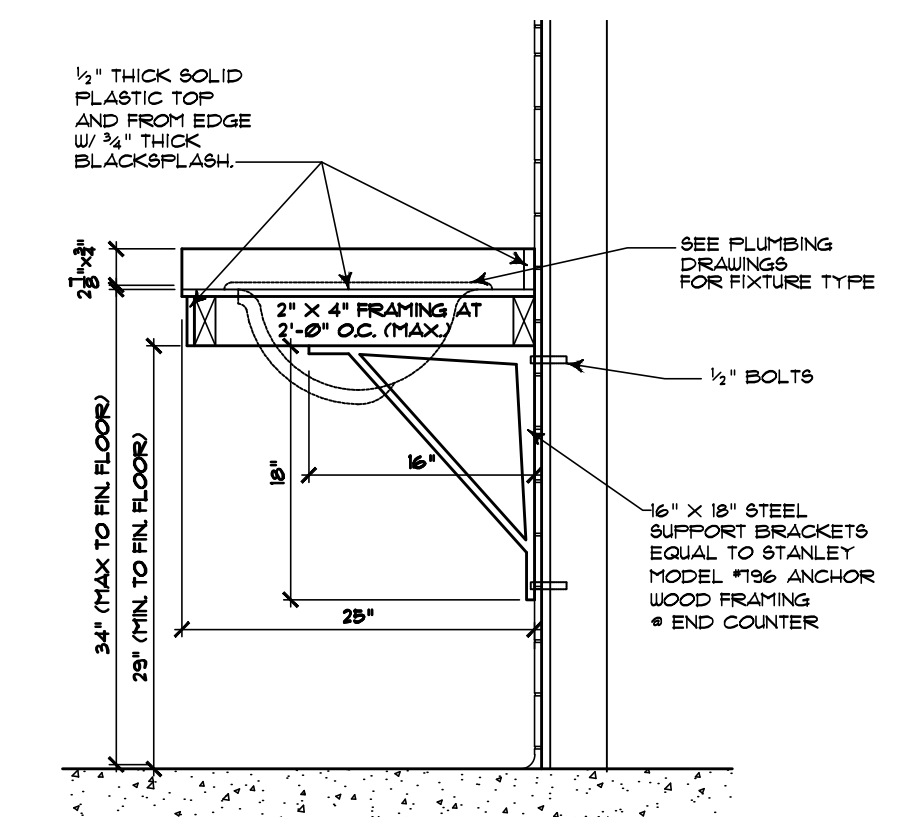
8 ATTIC ACCESS DETAIL
SCALE: 1/2" = 1'-0"



9 HEAVY FIXTURE ATTACHMENTS AND BACKING FOR CABINETS (BLOCKING DETAILS)
SCALE: 3/4" = 1'-0"



10 URINAL MOUNTED ON CMU WALL (TYP)
SCALE: 1" = 1'-0"

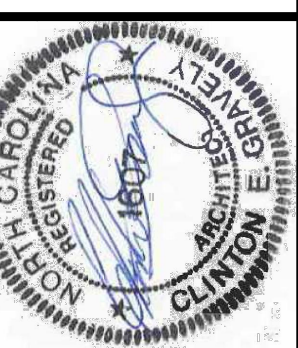


11 SECTION THRU VANITY (TYPICAL)
SCALE: 1" = 1'-0"

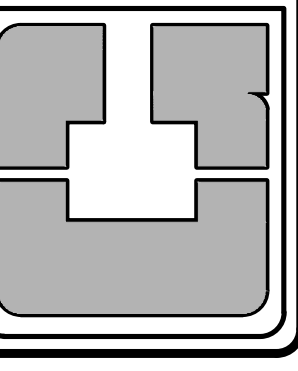
INTERIOR ELEVATION, SECTIONS AND DETAILS

NO.	DATE	REVISIONS

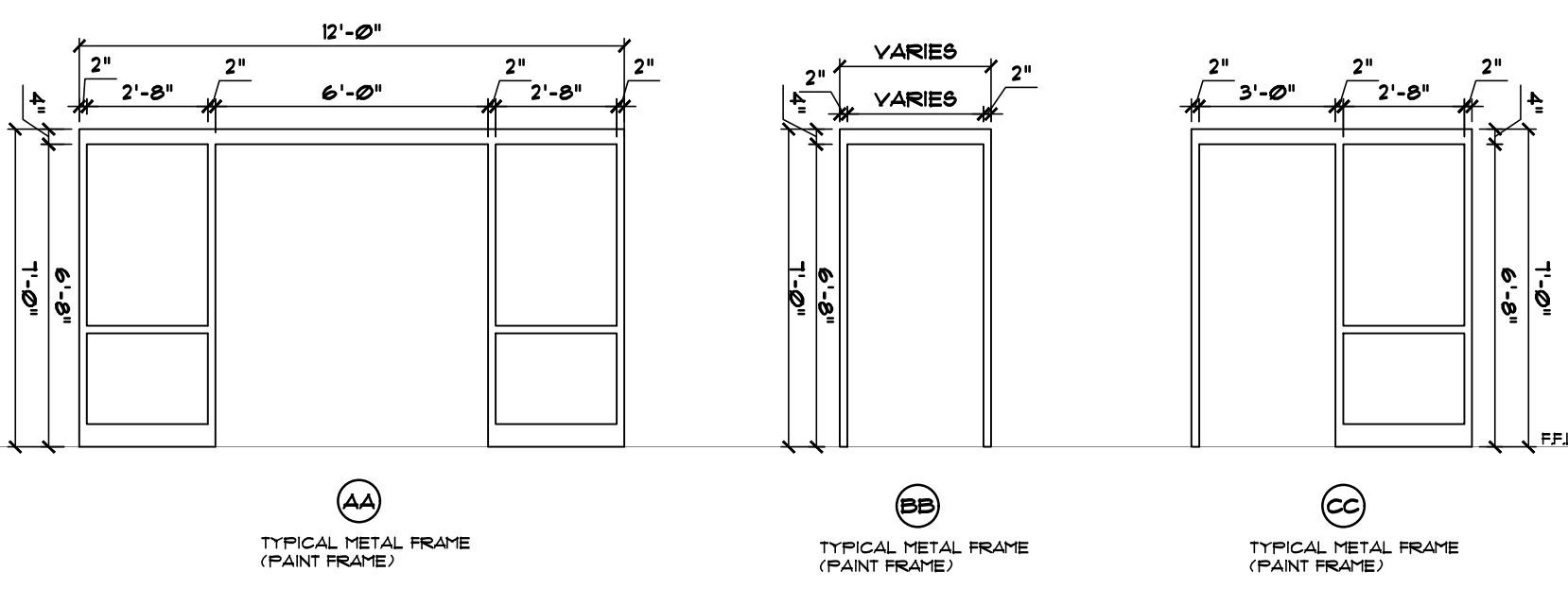
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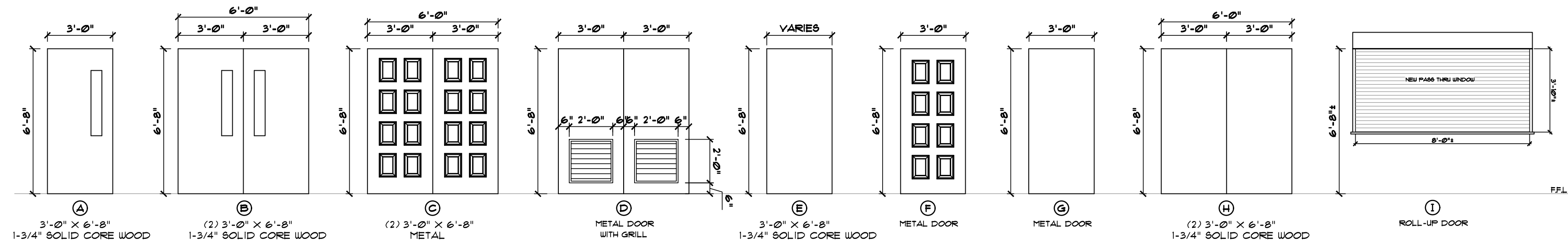


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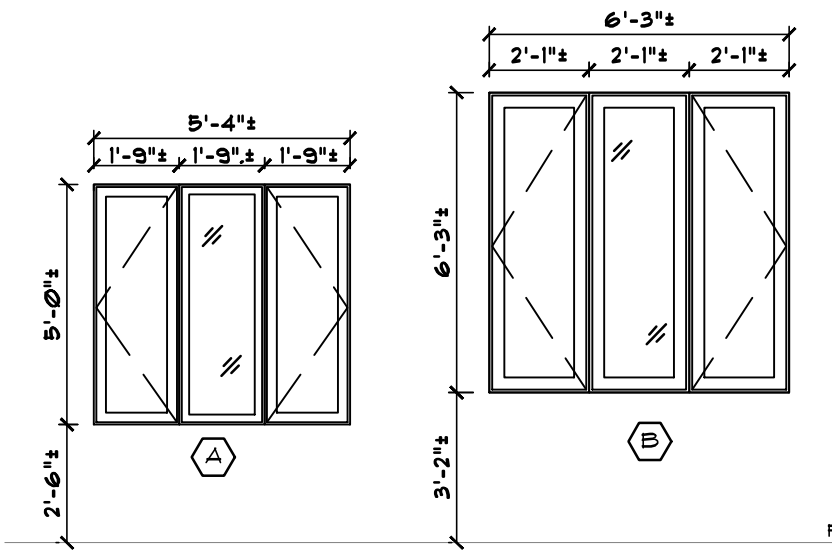
1 DOOR FRAME ELEVATION
A-B SCALE: 1/4" = 1'-0"

NOTE:-
ALL DOOR FRAMES (INTERIOR AND EXTERIOR) SHALL BE METAL.



2 DOOR ELEVATION
A-B SCALE: 1/4" = 1'-0"

NOTE:-
ALL EXTERIOR DOORS SHALL BE METAL, ALL INTERIOR DOORS SHALL BE WOOD SOLID CORE.



3 WINDOW SCHEDULE
A-B SCALE: 1/4" = 1'-0"

DOOR, FRAME, AND HARDWARE SCHEDULE

DOOR NUMBER	LOCATION	NUMBER AND SIZE	TYPE	MATERIAL	CORE	ELEVATION	LABEL	FRAME ELEV.	FRAME LABEL	HARDWARE SET NO.	PLATES	REMARKS
1	LOBBY	(2) 3'6" x 6'3/4"	SUG.	MET.	H	C		AA				
2	MULTI-PURPOSE ROOM	(2) 3'6" x 6'3/4"	SUG.	UD.	S	B		BB				20 MIN. RATED
2A	MULTI-PURPOSE ROOM	(2) 3'6" x 6'3/4"	SUG.	MET.	H	C		BB				
3	KITCHEN	3'6" x 6'3/4"	SUG.	UD.	S	A		BB				
3A	KITCHEN	3'6" x 3'0"	REV.	MET.	S	I		BB				
3B	KITCHEN	3'6" x 6'3/4"	SUG.	MET.	H	G		BB				
4	PANTRY	3'6" x 6'3/4"	SUG.	UD.	S	E		BB				
5	CHAIR AND TABLE STORAGE	(2) 3'6" x 6'3/4"	SUG.	UD.	S	H		BB				
6	MECHANICAL Rm.	(2) 2'6" x 6'3/4"	SUG.	UD.	S	D		BB				
7	COMMUNITY PANTRY	3'6" x 6'3/4"	SUG.	UD.	S	A		BB				20 MIN. RATED
7A	COMMUNITY PANTRY	3'6" x 6'3/4"	SUG.	MET.	H	G		BB				
8	CLASS ROOM #1	3'6" x 6'3/4"	SUG.	UD.	S	A		BB				20 MIN. RATED
9	MEN'S TOILET	3'6" x 6'3/4"	SUG.	UD.	S	E		BB				20 MIN. RATED
10	WOMEN'S TOILET	3'6" x 6'3/4"	SUG.	UD.	S	E		BB				20 MIN. RATED
11	JANITORS	2'6" x 6'3/4"	SUG.	UD.	S	E		BB				20 MIN. RATED
12	SECRETARY OFFICE	3'6" x 6'3/4"	SUG.	UD.	S	A		CC				20 MIN. RATED
13	PASTOR OFFICE	3'6" x 6'3/4"	SUG.	UD.	S	A		BB				20 MIN. RATED
14	CLASS ROOM #2	3'6" x 6'3/4"	SUG.	UD.	S	A		BB				20 MIN. RATED
15	CORRIDOR	3'6" x 6'3/4"	SUG.	MET.	H	F		BB				

LEGEND OF ABBREVIATIONS

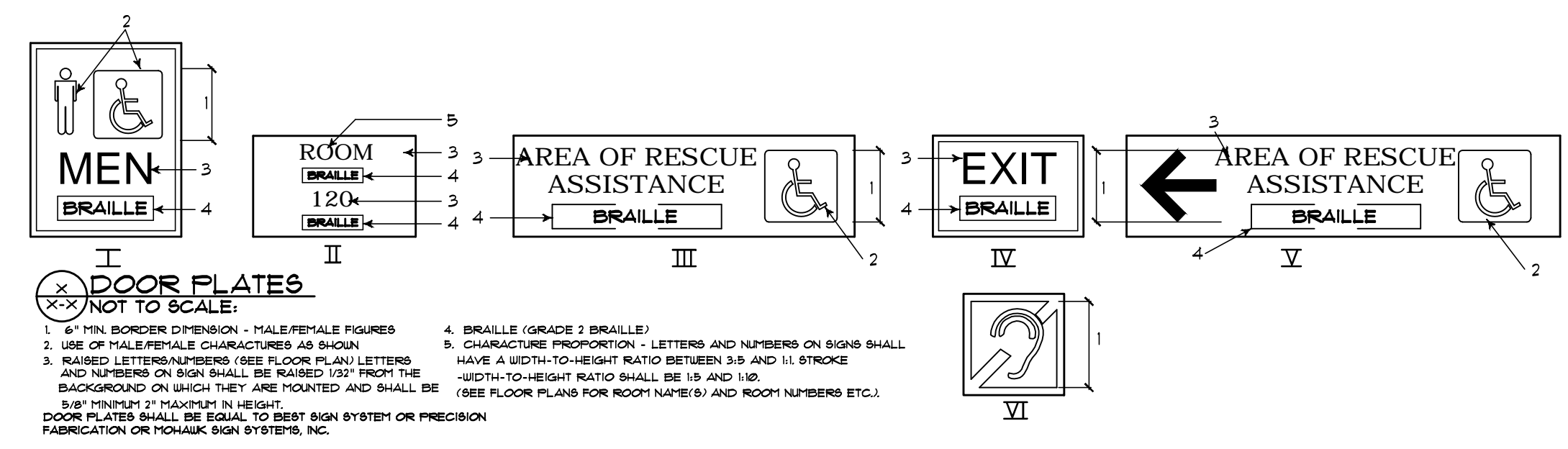
SUG.	SUNG DOOR	H	HOLLOW METAL (INSULATED)	O.V.	OVER-HEAD DOOR
F.P.	FOLDING PARTITION	S	SOLID	EXST.	EXISTING
UD.	WOOD	S.S.	STAINLESS STEEL	(N/C)	NOT IN CONTRACT
MET.	METAL	RUL	ROLL UP	Rm.	ROOM
ALUM.	ALUMINUM	GLA.	GLASS	HR.	HOUR
B	"B" LABEL DOOR AND FRAME	HO.	HONEYCOMB	MIN.	MINUTES

I, II, III, IV, V OR VI (DOOR PLATE)

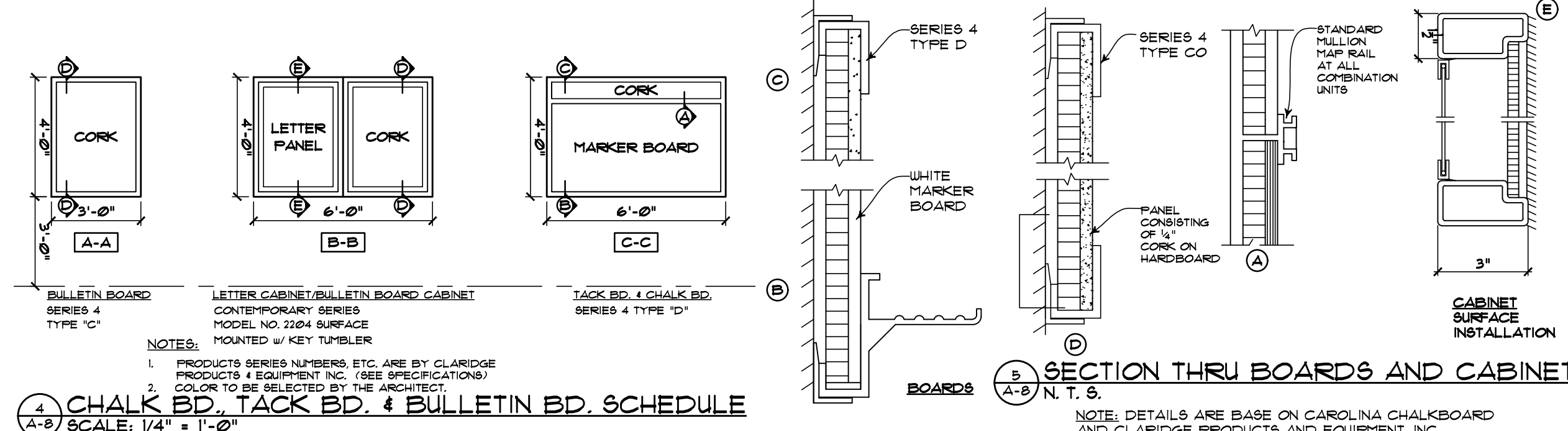
ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WAINCOT	WALL	CEILING	COUNTERTOPS	PARTITIONS	REMARKS
01 LOBBY	CARPET	CERAMIC TILE (SEE SHEET)	WOOD PANELING	BRICK	EXPOSED WOOD DECKING			
02 MULTI-PURPOSE ROOM	VINYL WOOD PLANK	EXISTING CONCRETE						SEE NOTE BELOW
03 KITCHEN	VCT	CERAMIC TILE						
04 PANTRY	QUARRY TILE	BRICK PAVERS						
05 CHAIR & TABLE STORAGE	INTERIOR FINISH CLASSIFICATION	INTERIOR FINISH CLASSIFICATION						
06 MECHANICAL EQUIPMENT	COLOR / DESIGN MANUFACTURER	COLOR / DESIGN MANUFACTURER						
07 COMMUNITY PANTRY	CARPET (OPT)	CERAMIC TILE						
08 YOUNGER CHILDREN CLASS ROOM #1	WOOD	HARD TILE						
09 MEN'S TOILET	EXISTING	EXISTING						
10 WOMEN'S TOILET	INTERIOR FINISH CLASSIFICATION	INTERIOR FINISH CLASSIFICATION						
11 JANITOR	COLOR / DESIGN MANUFACTURER	COLOR / DESIGN MANUFACTURER						
12 SECRETARY	CERAMIC TILE (SEE SHEET)	WOOD PANELING						
13 PASTOR	PAINT	INTERIOR FINISH CLASSIFICATION						
14 CLASS ROOM #2	COLOR / DESIGN MANUFACTURER	COLOR / DESIGN MANUFACTURER						
15 CORRIDOR	MASONRY BLOCK	GYP/PLUM BOARD						

NOTE:-
1. VINYL WOOD PLANK FLOORING SHALL BE INSTALLED THRU OUT MULT-PURPOSE ROOM PRIOR TO INSTALLATION OF PLATFORM (PULPIT AREA). INSTALLED PLATFORM AND RAMP SHALL RECEIVE CARPET FOR FLOOR FINISH (BASE NOT REQUIRED).
2. PROVIDE 1 HOUR CORRIDOR FIRE PROTECTION RATING BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS.
3. DOORS BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS SHALL BE RATED AT 20 MIN.



DOOR PLATES
NOT TO SCALE:
1. 1/4" MIN. BORDER DIMENSION - MALE/FEMALE FIGURES
2. USE OF MALE/FEMALE CHARACTERS AS SHOWN
3. RAISED LETTERS/NUMBERS (SEE FLOOR PLAN) LETTERS AND NUMBERS ON SIGN SHALL BE RAISED 1/32" FROM THE BACKGROUND ON WHICH THEY ARE MOUNTED AND SHALL BE 3/8" MINIMUM 27 POINTS IN HEIGHT
DOOR PLATES SHALL BE EQUAL TO BEST SIGN SYSTEM OR PRECISION FABRICATION OR POKA-MARK SIGN SYSTEMS, INC.
4. BRAILLE (GRADE 3 BRAILLE)
5. CHARACTER PROPORTION - LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1. STROKE WIDTH-TO-HEIGHT RATIO SHALL BE 1:5 AND 1:10 (SEE FLOOR PLANS FOR ROOM NUMBERS) AND ROOM NUMBERS ETC.)
6. BRAILLE SHALL BE 3/16" MINIMUM IN HEIGHT



4 CHALK BD., TACK BD., & BULLETIN BD. SCHEDULE
A-B SCALE: 1/4" = 1'-0"
NOTES:
1. PRODUCTS SERIES NUMBERS, ETC. ARE BY CLARIDGE PRODUCTS & EQUIPMENT INC. (SEE SPECIFICATIONS)
2. COLOR TO BE SELECTED BY THE ARCHITECT
3. PRODUCTS SERIES NUMBERS, ETC. ARE BY CLARIDGE PRODUCTS & EQUIPMENT INC. (SEE SPECIFICATIONS)
4. COLOR TO BE SELECTED BY THE ARCHITECT
NOTE: DETAILS ARE BASE ON CAROLINA CHALKBOARD AND CLARIDGE PRODUCTS AND EQUIPMENT, INC.

DOOR, WINDOW AND FRAME ELEVATIONS,
DOOR, FRAME AND HARDWARE SCHEDULE,
ROOM FINISH SCHEDULE
AND BOARD SCHEDULE AND SECTIONS

REVISIONS

DATE	REVISIONS

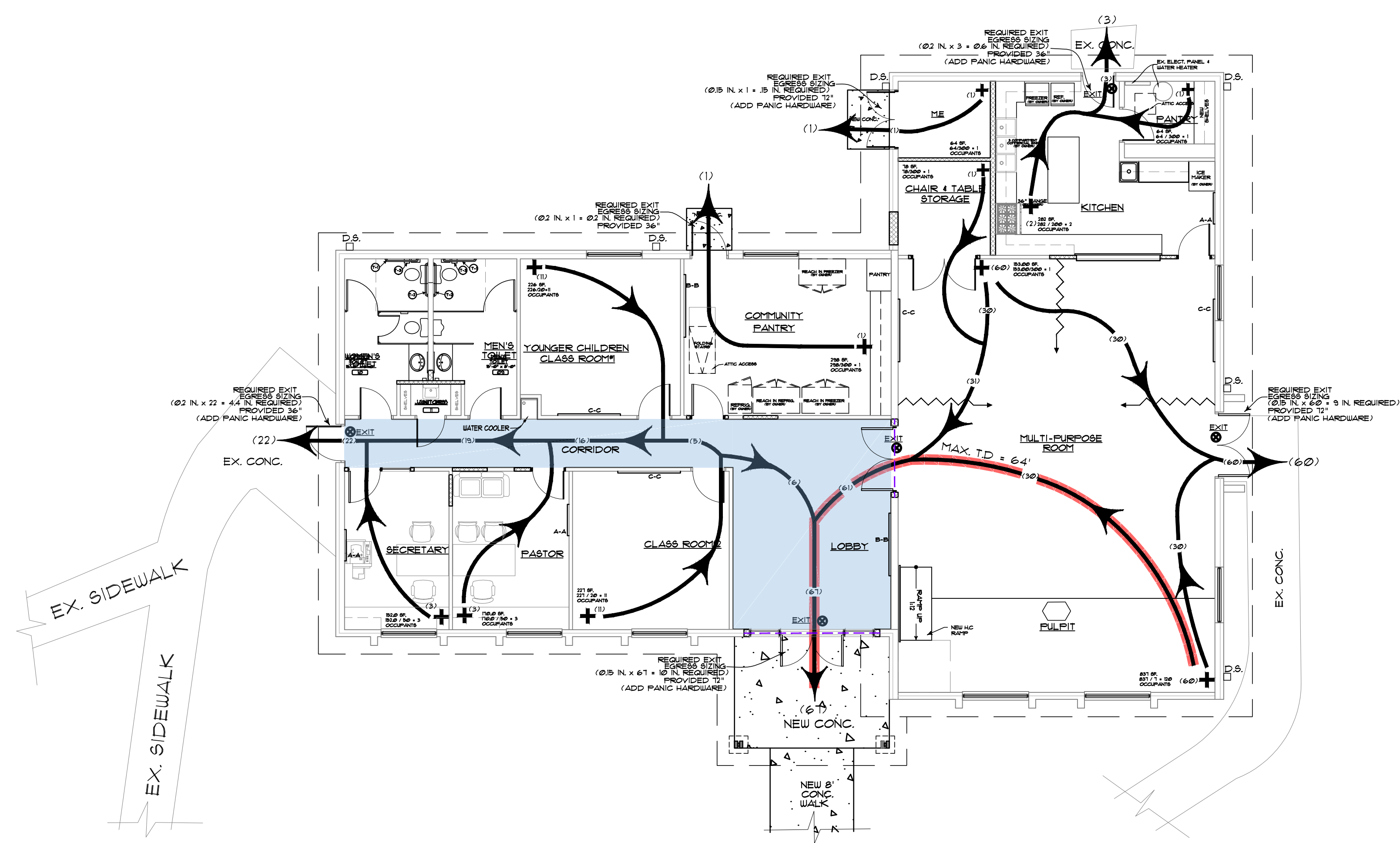
JOB NO. G-345
DATE APRIL, 2024
DRAWN BY
CHECKED BY

RENOVATIONS
CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH
3109 Groomstown Rd.,
Greensboro, NC 27407

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E-MAIL ADDRESS info@celiaarchitect.com

SHEET A-8 OF 8

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1 LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

**EXIT REQUIREMENTS
 NUMBER AND ARRANGEMENT OF EXITS**

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM ² NUMBER OF EXITS		TRAVEL DISTANCE	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1011.2)	MAXIMUM ACTUAL TRAVEL DISTANCE SHOWN ON PLANS
FIRST STORY	2	4	200'	64'

TOTAL OCCUPANT LOAD
 BUILDING APPROXIMATELY
 154

FLOOR AREA ALLOWANCE PER OCCUPANT

MULTI-PURPOSE ROOM (ASSEMBLY WITHOUT FIXED SEATS)	1 NET
KITCHEN	200 gross
CLASS ROOM	20 NET
STORAGE	300 gross
OFFICE	50 gross
MECHANICAL ROOM	300 gross

LEGEND OF ABBREVIATIONS:
 MAX. = MAXIMUM
 T.D. = TRAVEL DISTANCE

NOTE:
 PLEASE REFER SHEET A-1 FOR MULTI-PURPOSE ROOM OCCUPANTS LOAD

KEY TO FLOOR PLANS

	EXIT SIGN
	EGRESS PATH
	MAX. EGRESS PATH

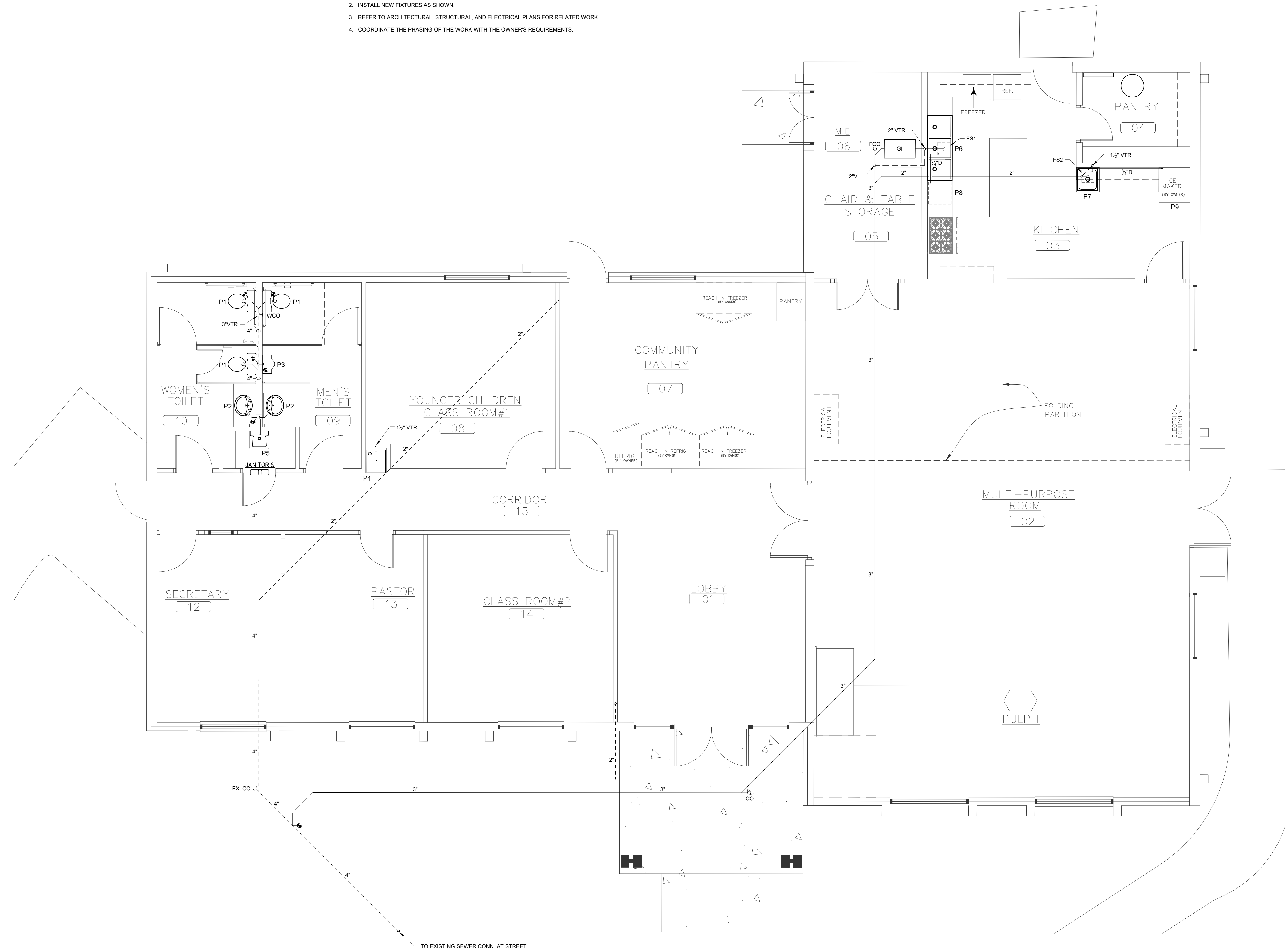
NOTE:

- PROVIDE 1 HOUR CORRIDOR FIRE PROTECTION RATING BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS
- DOORS BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS SHALL BE RATED AT 20 MIN.

REVISIONS				
DATE	JOB NO. G-945	DATE APRIL, 2024	DRAWN BY	CHECKED BY
RENOVATIONS TO Celia Phelps Memorial United Methodist Church 3709 Groometown Rd, Greensboro, NC 27407				
CLINTON E. GRAVELY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS / PLANNERS 324 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27408 (336) 275-9863 FAX (336) 275-9865 E-MAIL ADDRESS: info@gravelyarchitect.com				
SHEET LS-1 OF 1				

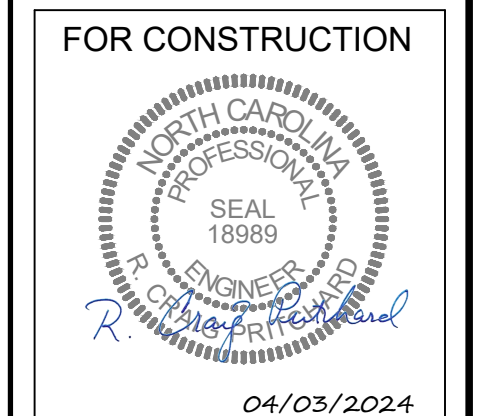
NOTES

1. INSTALL NEW SANITARY AND VENT PIPING.
2. INSTALL NEW FIXTURES AS SHOWN.
3. REFER TO ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL PLANS FOR RELATED WORK.
4. COORDINATE THE PHASING OF THE WORK WITH THE OWNER'S REQUIREMENTS.



1 SANITARY PLAN
1/4" = 1'-0"

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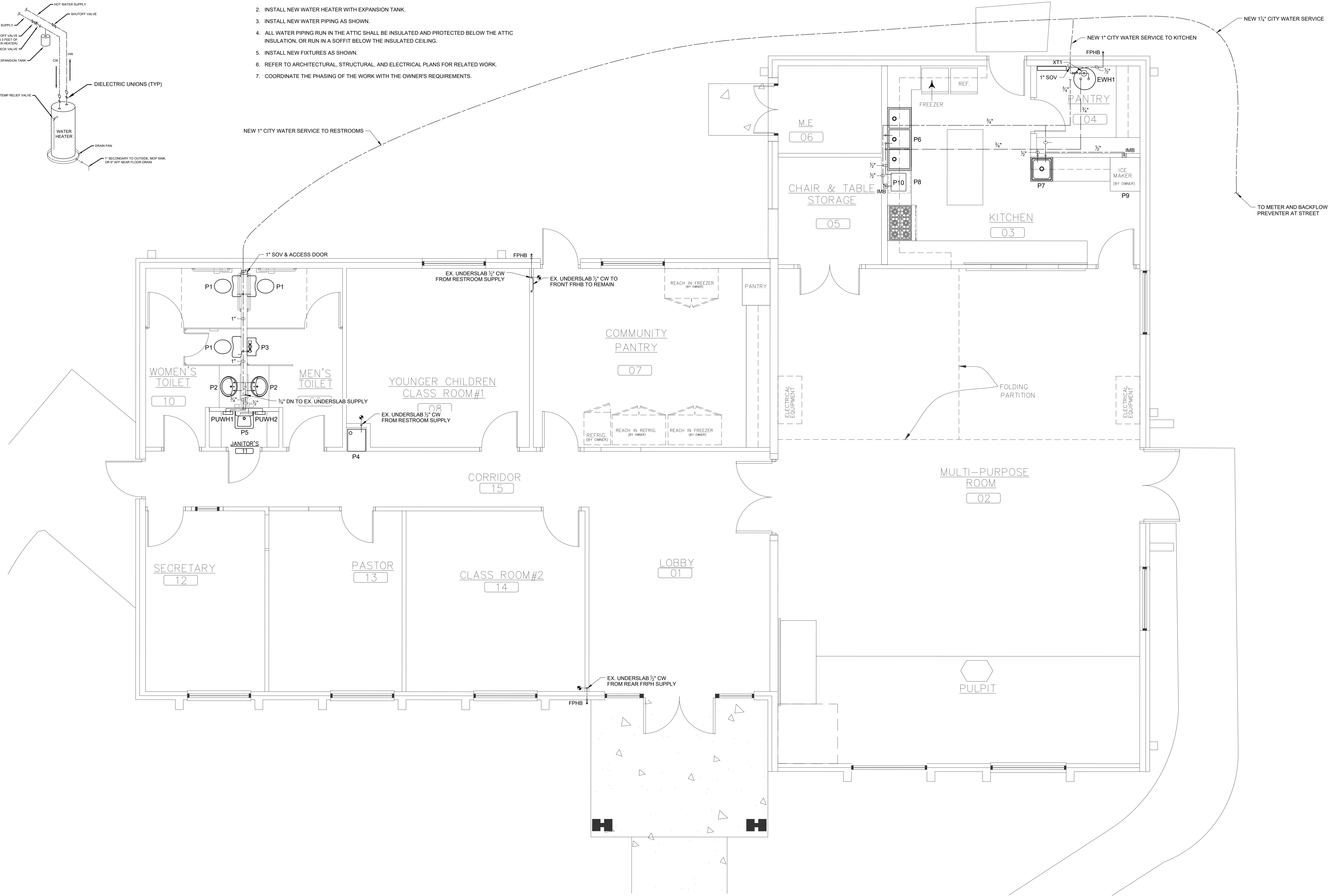
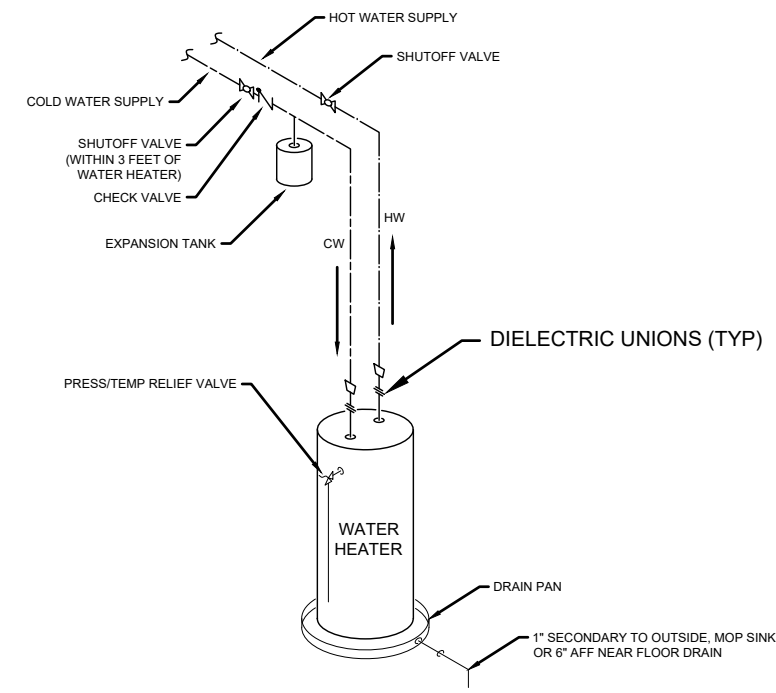
#	DATE	DESCRIPTION

PROJECT #:	2023-0105
PROJECT #:	G-945
SCO ID:	NA
SCALE:	AS NOTED
DRAWN BY:	RCP
CHECKED BY:	RCP
DATE:	04/03/2024

SANITARY PLAN

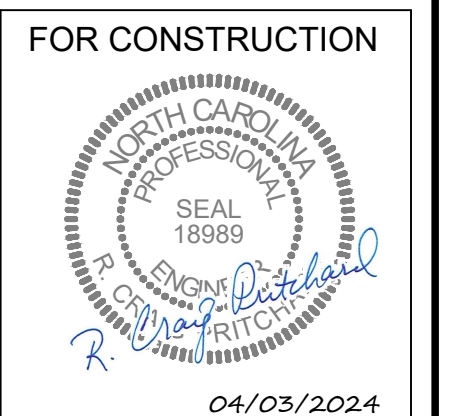
NOTES

1. INSTALL NEW 1/2" CITY WATER SERVICE FROM NEW METER AND BACKFLOW PREVENTER AS SHOWN.
2. INSTALL NEW WATER HEATER WITH EXPANSION TANK.
3. INSTALL NEW WATER PIPING AS SHOWN.
4. ALL WATER PIPING RUN IN THE ATTIC SHALL BE INSULATED AND PROTECTED BELOW THE ATTIC INSULATION, OR RUN IN A SOFFIT BELOW THE INSULATED CEILING.
5. INSTALL NEW FIXTURES AS SHOWN.
6. REFER TO ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL PLANS FOR RELATED WORK.
7. COORDINATE THE PHASING OF THE WORK WITH THE OWNER'S REQUIREMENTS.



1 WATER PLAN
1/4" = 1'-0"

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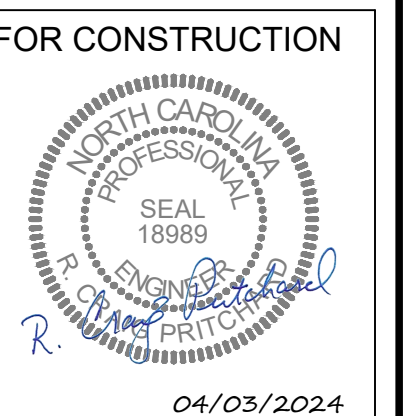
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#	DATE	DESCRIPTION

PROJECT #:	2023-0105
PROJECT #:	G-945
SCO ID:	NA
SCALE:	AS NOTED
DRAWN BY:	RCP
CHECKED BY:	RCP
DATE:	04/03/2024

WATER PLAN



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RENOVATIONS
 3709 GROOMETOWN ROAD
 GREENSBORO, NORTH CAROLINA

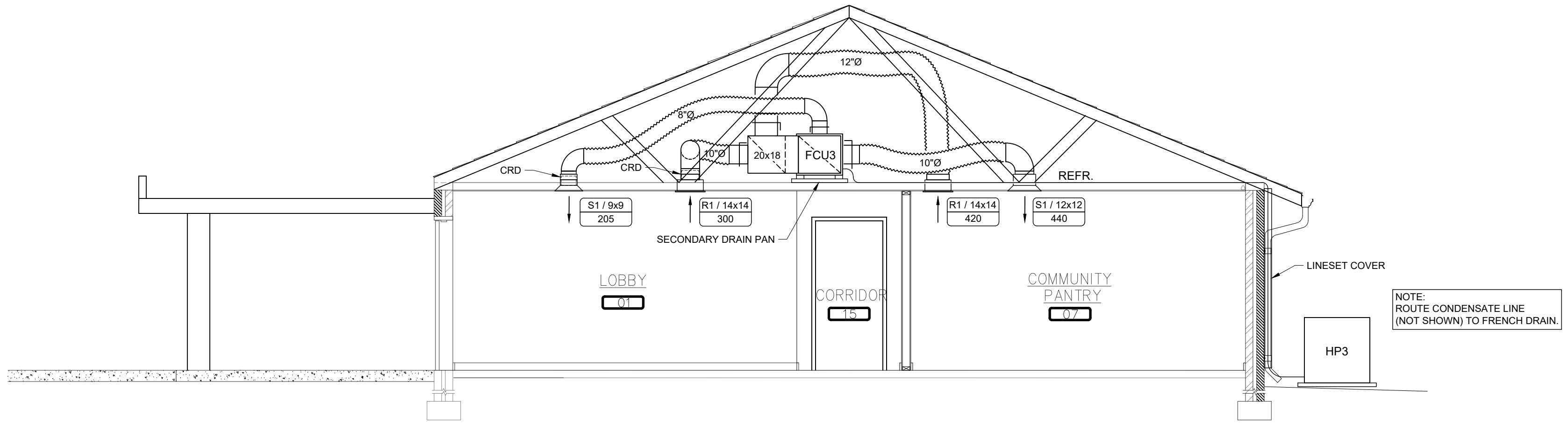
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#	DATE	DESCRIPTION

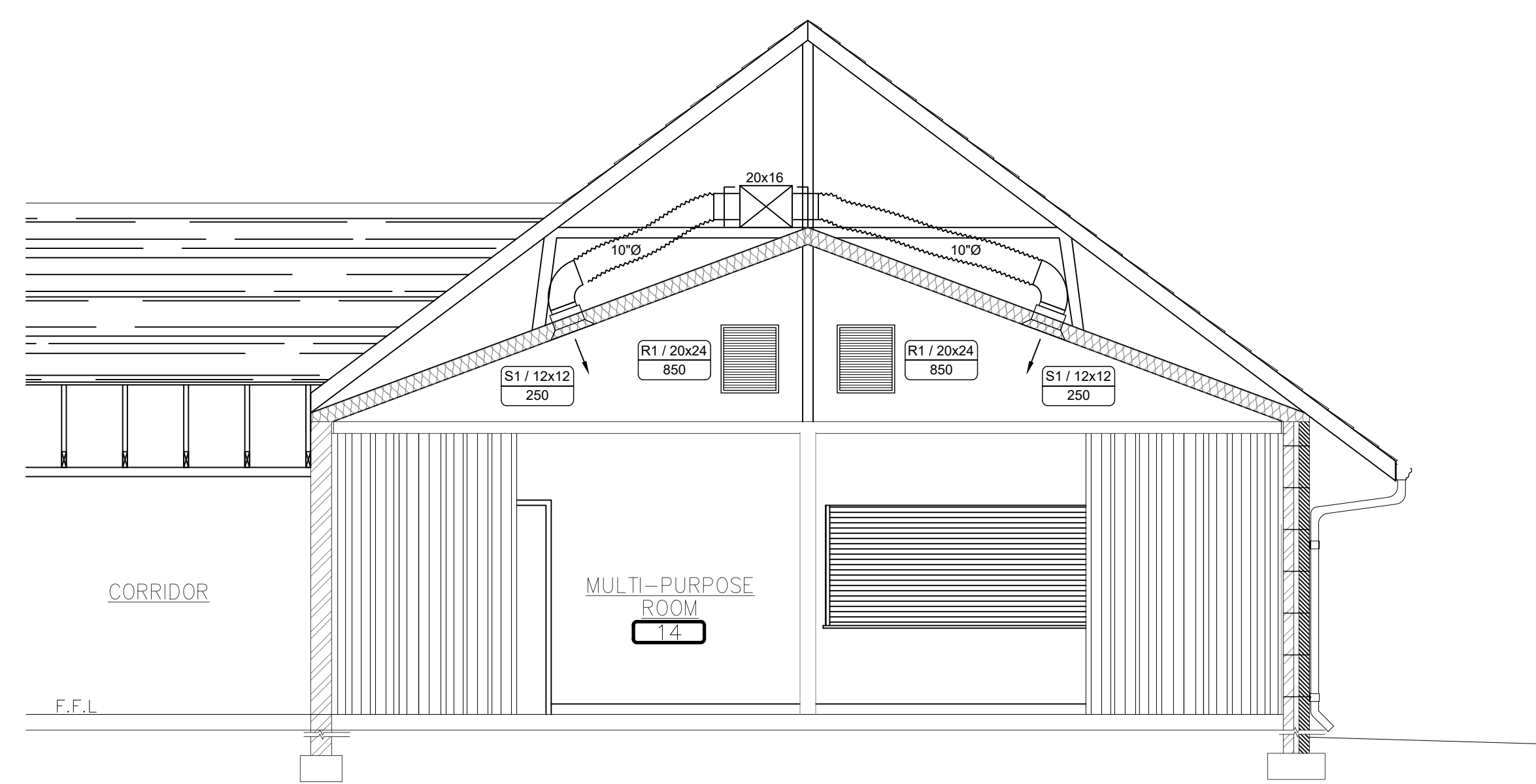
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 PROJECT #: G-945
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 SCALE: AS NOTED
 DRAWN BY: RCP
 CHECKED BY: RCP
 DATE: 04/03/2024

SECTIONS

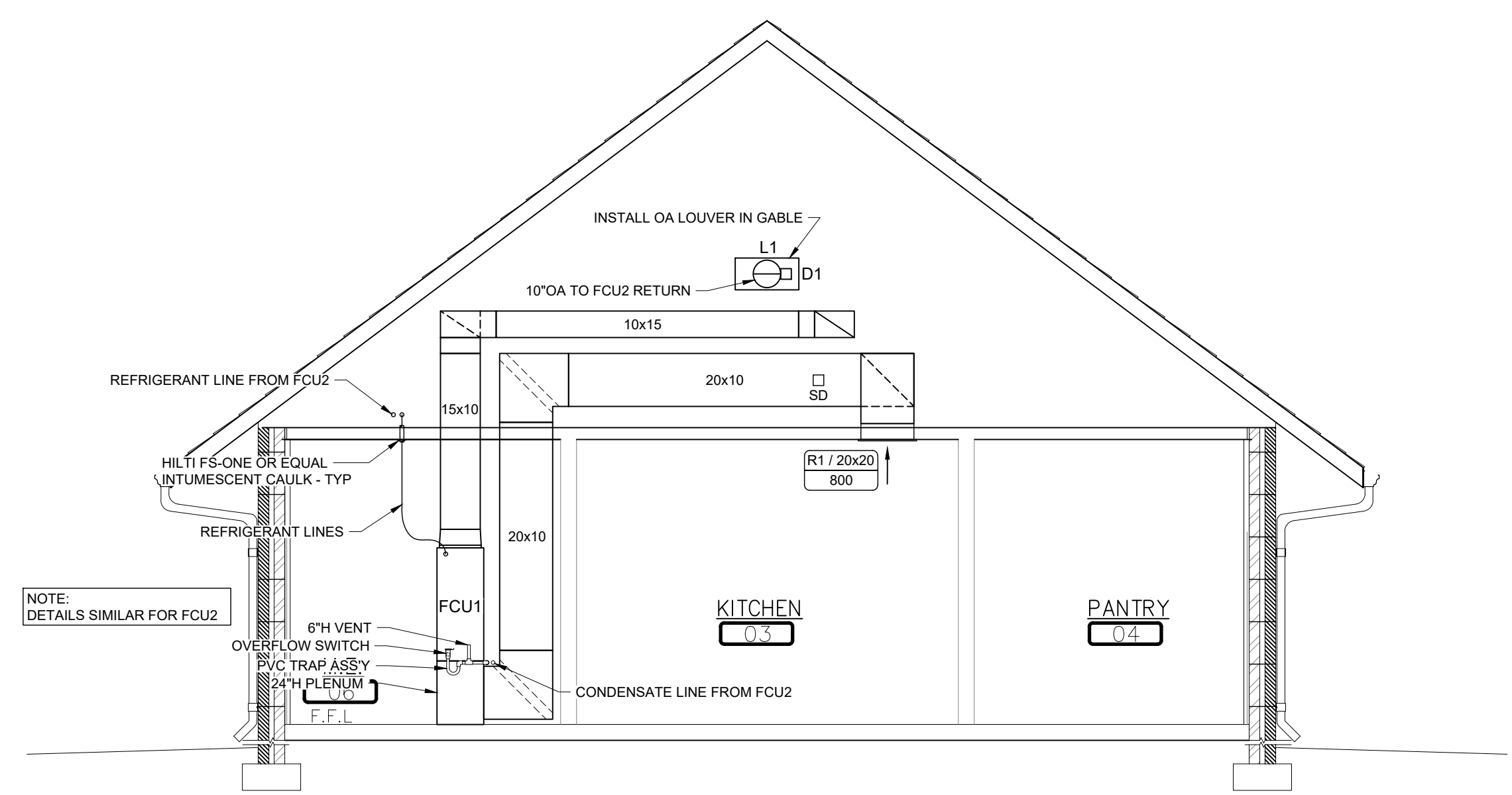
M4



3 SECTION AT LOBBY
 1/4" = 1'-0"



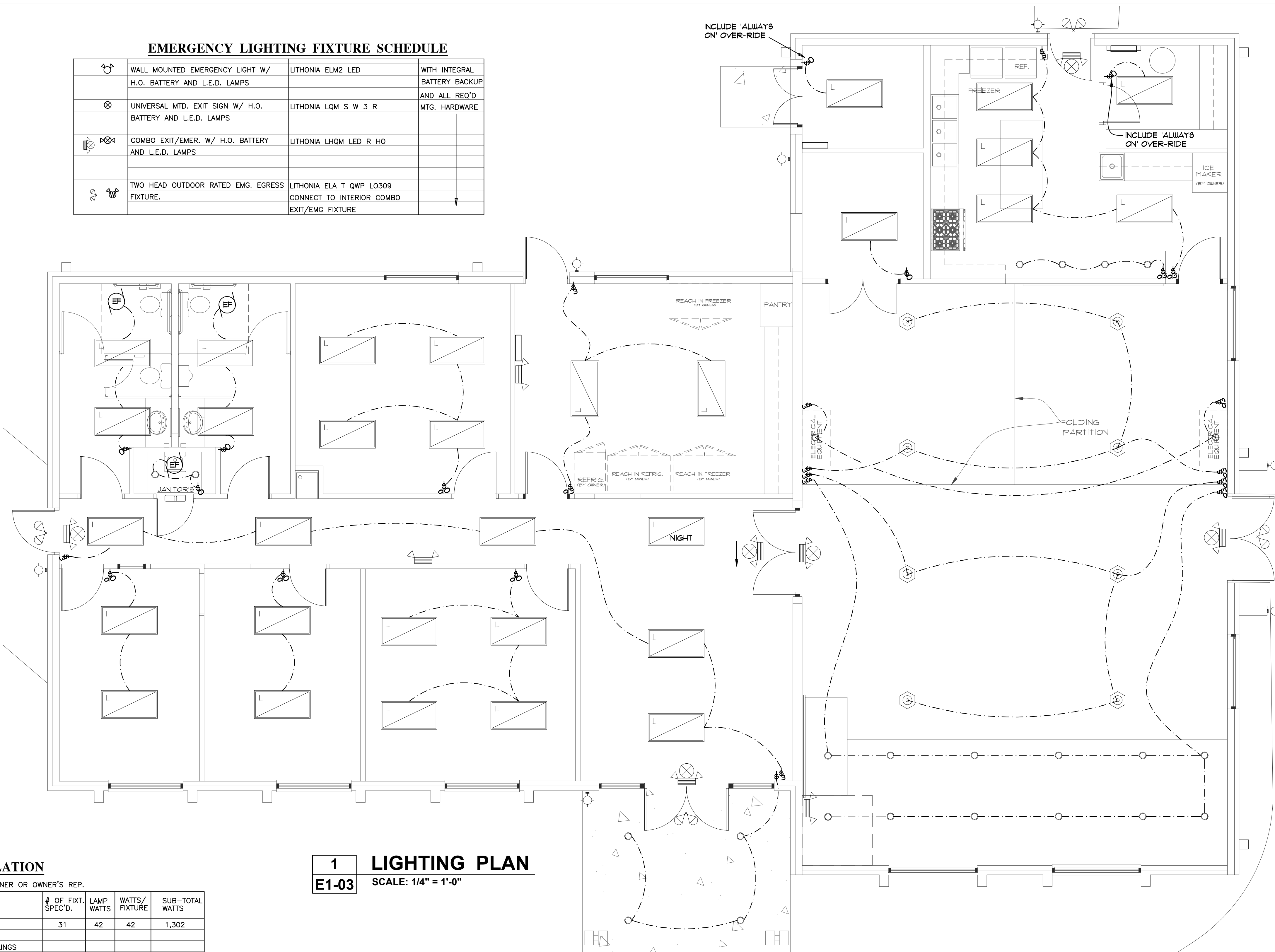
1 SECTION AT MULTI-PURPOSE ROOM
 1/4" = 1'-0"



2 SECTION AT KITCHEN
 1/4" = 1'-0"

EMERGENCY LIGHTING FIXTURE SCHEDULE

⊕	WALL MOUNTED EMERGENCY LIGHT W/ H.O. BATTERY AND L.E.D. LAMPS	LITHONIA ELM2 LED	WITH INTEGRAL BATTERY BACKUP AND ALL REQ'D MTG. HARDWARE
⊗	UNIVERSAL MTD. EXIT SIGN W/ H.O. BATTERY AND L.E.D. LAMPS	LITHONIA LQM S W 3 R	
⊗	COMBO EXIT/EMER. W/ H.O. BATTERY AND L.E.D. LAMPS	LITHONIA LHQM LED R HO	
⊕	TWO HEAD OUTDOOR RATED EMG. EGRESS FIXTURE.	LITHONIA ELA T QWP L0309	CONNECT TO INTERIOR COMBO EXIT/EMG FIXTURE



2018 INTERNATIONAL ENERGY CONSERVATION CODE
SECTION 405 - LIGHTING SYSTEMS

PRESCRIPTIVE PERFORMANCE ENERGY COST BUDGET

(LIGHTING - SEE PLAN FOR FIXTURE SPECIFICATIONS)
TABLE C405.4.2 WAS USED TO CALCULATE THE INTERIOR LIGHTING POWER ALLOWANCES:

BUILDING AREA (AFFECTED BY NEW LIGHTING) = 3,660.2 sq. ft. (STORAGE CLOSET, ONLY)
ALLOWED WATTS = 1.0 w/ft x 3,660.2 = 3,660.2 WATTS (RELIGIOUS)
TOTAL ALLOWED WATTS = 3,660.2 WATTS
WATTS SPECIFIED = 2,010 WATTS
% OF ALLOWED = 2,010 / 3,660.2 = 54.9 %

REDUCED LIGHTING POWER DENSITY SYSTEM IN ACCORDANCE WITH SECTION C406.3
EQUIPMENT SCHEDULES WITH MOTORS (NOT USED FOR MECHANICAL SYSTEMS)

MOTOR HP(S)	NA
NUMBER OF PHASES	NA
MINIMUM EFFICIENCY (%)	NA
MOTOR TYPE	NA
# OF POLES	NA

DESIGNER STATEMENT:
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE

SIGNED: PLEASE SEE SEAL
NAME: Dan O. Campbell, Jr.
TITLE: P.E. (Electrical Engineer)

LIGHTING SCHEDULE & ENERGY TABULATION

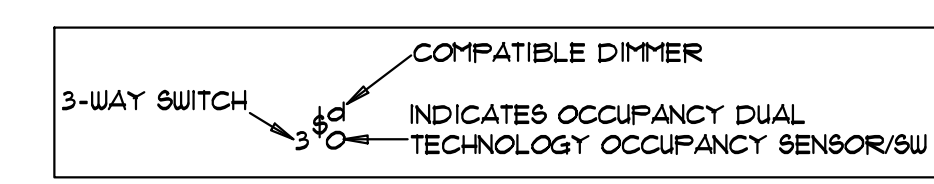
FIXTURE COUNT IS FOR ENERGY CALCULATIONS ONLY. CONFIRM FINAL COUNTS WITH OWNER OR OWNER'S REP.

FIXTURE SYMBOL	FIXTURE DESCRIPTION	MANUFACTURER	# OF FIXT. SPEC'D.	LAMP WATTS	WATTS/FIXTURE	SUB-TOTAL WATTS
A	L.E.D. TROFFER (PANEL) WITH ACRYLIC LENS - MVOLT	LITHONIA #CPANL 2X4 40/50/60LM 40K M2 #SMKSH SURFACE-MTG KIT IN GYP CEILINGS	31	42	42	1,302
B	DECORATIVE L.E.D. PENDANT	TETON SERIES #835 CEILING SUSPENDED OR PER SELECTION BY OWNER APPROX. 5,000 LUMENS PER FIXTURE	8	50	50	400
	RECESSED L.E.D. 6" CAN LIGHT	LITHONIA OR EQUAL OR PER SELECTION BY OWNER	22	14	14	308
	EXTERIOR DOOR-SIDE SCOSCE (L.E.D.) WITH DUSK-TO DAWN P.E. CONTROL	GENERIC OR PER SELECTION BY OWNER	5	20	20	100
						EXTERIOR

TOTAL WATTS SPECIFIED: 2,010

1 LIGHTING PLAN
E1-03 SCALE: 1/4" = 1'-0"

SWITCHING
d = DIMMER
3 OR 4 = THREE-WAY OR FOUR-WAY SWITCHING
O = DUAL TECHNOLOGY OCCUPANCY SENSOR (MOTION + HEAT)
\$ = 20A SINGLE POLE SWITCH MOUNTED 46" AFF UNLESS OTHERWISE NOTED
\$\$ = 20A THREE WAY SWITCH MOUNTED 46" AFF UNLESS OTHERWISE NOTED
\$o = WALL RECESSED DUAL TECHNOLOGY OCCUPANCY SENSOR



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CERT. NO. C-1789

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DESCRIPTION	DATE	#
PROJECT #:	24026	
PROJECT #:	NA	
SCO ID:	NA	
SCALE:	AS NOTED	
DRAWN BY:	DOC	
CHECKED BY:	DOC	
DATE:	04/03/2024	

LIGHTING PLAN