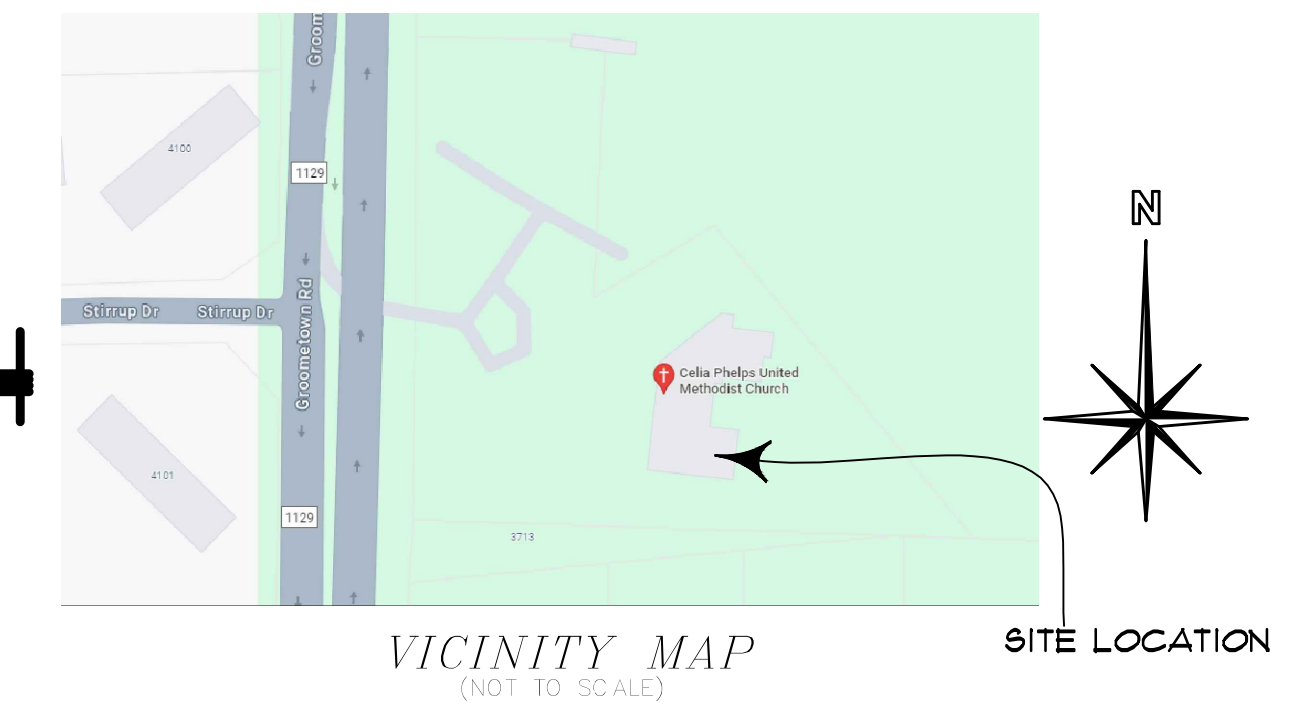


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# RENOVATIONS TO CELIA PHELPS UNITED METHODIST CHURCH

## 3709 GROOMETOWN RD. GREENSBORO, NORTH CAROLINA 27407



### SCHEDULE OF DRAWINGS

### 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

DIVISIONS	SHT. NO.	DESCRIPTIONS
COVER SHEET	COV-1	COVER SHEET, SCHEDULE OF DRAWINGS, BUILDING CODE SUMMARY
SITE	SP-0	TOPOGRAPHIC SURVEY / EXISTING SITE PLAN
	SP-1	DEMOLITION SITE PLAN
	SP-2	PROPOSED SITE PLAN
	SP-3	NEW H/C SIGN, DUMPSTER PAD, ELEVATION AND SECTION NEW H/C RAMP, SECTIONS AND DETAILS
LANDSCAPE	LP-1	SITE LIGHTING PLAN
	LP-2	LANDSCAPE DETAILS
ARCHITECTURAL	A-1	EXISTING / DEMOLITION PLAN PROPOSED FLOOR PLAN
	A-2	BUILDING ELEVATIONS
	A-3	BUILDING SECTIONS, WALL SECTION, AND DETAILS
	A-4	ROOF PLAN, ROOF FRAMING PLAN, TRUSSES AND DETAILS
	A-5	DETAIL SECTIONS
	A-6	INTERIOR ELEVATIONS
	A-7	INTERIOR ELEVATIONS AND SECTIONS
	A-8	DOOR WINDOW AND FRAME ELEVATIONS, DOOR FRAME AND HARDWARE SCHEDULE, ROOM FINISH SCHEDULE AND BOARD SCHEDULE AND SECTIONS
LIFE SAFETY	LS-1	LIFE SAFETY PLAN
PLUMBING	P-0	NOTES
	P-1	SCHEDULES
	P-2	DEMOLITION PLAN
	P-3	SANITARY PLAN
MECHANICAL	M-1	NOTES
	M-2	SCHEDULES
	M-3	MECHANICAL PLAN
	M-4	SECTIONS
ELECTRICAL	EI-01	POWER PLAN
	EI-02	POWER PLAN
	EI-03	LIGHTING PLAN

Name of Project: **RENOVATIONS TO CELIA PHELPS UMC**  
 Address: **3709 GROOMETOWN RD. GREENSBORO, NC**  
 Owner/Authorized Agent: **CLINTON E. GRAVELY, AIA** Phone: **(336) 275-6183** E-Mail: **info@cegravellyarchitect.com**  
 Owned By:  City/County  Private  State  
 Code Enforcement:  City  County  State  
 Jurisdiction: \_\_\_\_\_

CONTACT: **CLINTON E. GRAVELY, AIA**  
 DESIGNER: **FIRM NAME LICENSE \* TELEPHONE \* E-MAIL**

ARCHITECTURAL ASSOCIATES ARCHITECTS PLANNERS	CLINTON E. GRAVELY	16071	(336) 275-6183	info@cegravellyarchitect.com
Electrical	CLINTON E. GRAVELY, AIA ARCHITECT	16071	(336) 275-6183	info@cegravellyarchitect.com
Fire Alarm	R. C. FITCHARD ENGINEERING SERVICES	18089	(336) 382-3831	rcfitchard@psnet.com
Plumbing	R. C. FITCHARD ENGINEERING SERVICES	18089	(336) 382-3831	rcfitchard@psnet.com
Mechanical	R. C. FITCHARD ENGINEERING SERVICES	18089	(336) 382-3831	rcfitchard@psnet.com
Sprinkler-standpipes	R. C. FITCHARD ENGINEERING SERVICES	18089	(336) 382-3831	rcfitchard@psnet.com
Structural				
Rising Walls > 5 High				
Other				

\*Other should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.\*

**2018 NC BUILDING CODE:**  New Building  Addition  Renovation  
 List Time Interior Completion  
 Shell/Corr - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Corr - Contact the local inspection jurisdiction for possible additional procedures and requirements

**2018 NC EXISTING BUILDING CODE:** EXISTING:  Prescriptive  Repair  Chapter 14 Alteration  Level I  Level II  Level III  Historic Property  Change of Use

CONSTRUCTED: (date) \_\_\_\_\_ CURRENT OCCUPANCY(S) (Ch. 3): \_\_\_\_\_ RELIGIOUS WORSHIP \_\_\_\_\_  
 RENOVATED: (date) \_\_\_\_\_ PROPOSED OCCUPANCY(S) (Ch. 3): \_\_\_\_\_ RELIGIOUS WORSHIP \_\_\_\_\_

RISK CATEGORY (Table 1604.5): Current:  I  II  III  IV Proposed:  I  II  III  IV

**BASIC BUILDING DATA**

Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B  
 (check all that apply)

Sprinklers:  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13B

Standpipes:  No  Yes Class I  II  III  Ulet  Dry

Fire Districts:  No  Yes Flood Hazard Area:  No  Yes

Special Inspections Required:  No  Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

**Ground Building Area Table**

FLOOR	EXISTING (SQ FT)	PROPOSED (GROSS AREA)
3rd Floor		
2nd Floor		
Mezzanine		
1st Floor	33001	33001
Basement		
TOTAL		

**ALLOWABLE AREA**

Primary Occupancy Classification(s):  
 Assembly  A-1  A-2  A-3  A-4  A-5  
 Business   
 Educational   
 Factory  F-1 Moderate  F-2 Low  
 Hazardous  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HFH  
 Institutional  I-1 Condition  I-2  
 I-3 Condition  I-4  
 Mercantile   
 Residential  R-1  R-2  R-3  R-4  
 Storage  S-1 Moderate  S-2 Low  High-piled  
 Parking Garage  Open  Enclosed  Repair Garage  
 Utility and Miscellaneous

Accessory Occupancy Classification(s): \_\_\_\_\_  
 Incidental Uses (Table 509): \_\_\_\_\_  
 Special Uses (Chapter 4 - List Code Sections): \_\_\_\_\_  
 Special Provisions: (Chapter 5 - List Code Sections): \_\_\_\_\_  
 Mixed Occupancy:  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
 Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A: \_\_\_\_\_ Actual Area of Occupancy B: \_\_\_\_\_  
 Allowable Area of Occupancy A: \_\_\_\_\_ Allowable Area of Occupancy B: \_\_\_\_\_

STORY NO.	DESCRIPTION AND USE	(A) FLOOR AREA PER STORY (ACTUAL)	(B) FLOOR AREA PER STORY (ACTUAL)	(C) AREA INCREASE <sup>1</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2</sup>
1	A-3	33000	60000	-	-

1 Frontage area increases from Section 506.3 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width + \_\_\_\_\_ (F)  
 b. Total Building Perimeter \_\_\_\_\_ (FP)  
 c. Ratio (F/FP) = \_\_\_\_\_ (F/FP)  
 d. W + Minimum width of public way + \_\_\_\_\_ (W)  
 e. Percent of frontage increase if + 100(F/FP) - 0.25% x W/30 + \_\_\_\_\_ (%)

2 Unlimited area applicable under conditions of Section 507.  
 3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
 4 The maximum area of open parking garages must comply with Table 406.5.4.  
 5 Frontage increase is based on the unspinklered area value in Table 506.2.

**ALLOWABLE HEIGHT**

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE 1
Building Height in Feet (Table 504.3) 2	40	15	
Building Height in Stories (Table 504.4) 3	1	1	

1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.  
 2 The maximum height of air traffic control towers must comply with Table 412.3.  
 3 The maximum height of open parking garages must comply with Table 406.5.4.

### FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION (FEET)	RATINGS PROVIDED EXISTING	DETAIL AND SHEET	DESIGN FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	0					
Roofing	0					
Exterior						
North						
East						
South						
West						
Interior	0					
Nonbearing Walls and Partitions						
Exterior walls						
North						
East						
West						
South						
Interior walls and partitions	0					
Floor construction including supporting beams and joists	0					
Floor Ceiling Assembly						
Column Supporting Floor						
Roof Construction including supporting beams and joists	0					
Roof Ceiling Assembly						
Column Supporting Roof						
Shaft Enclosures - Exit						
Shaft Enclosures - Other						
Corridor Separation	1HR					
Occupancy/Fire Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Temper-Controlled Unit						
Sleeping Unit Separation						
Incidental Use Separation						

0 Indicate section number permitting reduction

**PERCENTAGE OF WALL OPENING CALCULATIONS**

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

**LIFE SAFETY SYSTEM REQUIREMENTS**

Emergency Lighting:  No  Yes  
 Exit Signs:  No  Yes  
 Fire Alarm:  No  Yes  
 Smoke Detection Systems:  No  Partial  Yes  
 Carbon Monoxide Detection:  No  Yes

**LIFE SAFETY PLAN REQUIREMENTS**

Life Safety Plan Sheet: **LS-1**

Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations (if not on the site plan)  
 Exterior wall opening area with respect to distance to assumed property lines (705.8)  
 Occupancy use for each area as it relates to occupant load calculation (Table 1004.12)  
 Occupant loads for each area  
 Exit access travel distances (1017)  
 Common path of travel distances (Tables 1006.2) & 1006.3.2(1))  
 Dead end lengths (1020.4)  
 Clear exit widths for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1009.3)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupant separation  
 Location of doors with panic hardware (1010.10)  
 Location of doors with delayed egress locks and the amount of delay (1010.13.1)  
 Location of doors with electromagnetic egress locks (1010.13.5)  
 Location of doors equipped with hold-open devices  
 Location of emergency escape windows (1020.2)  
 The square footage of each fire area (202)  
 The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5)  
 Note any code exceptions or table notes that may have been utilized regarding the items above.

**ACCESSIBLE DWELLING UNITS (ADA) (SECTION 107)**

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

**ACCESSIBLE PARKING (SECTION 106)**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE SPACES PROVIDED
	30	32		3
TOTAL				3

**PLUMBING FIXTURE REQUIREMENTS (TABLE 2909.2)**

USE	WATER CLOSET	URINALS	WASHSINKS	SINKS	DRINKING WATER
MALE					
FEMALE					
UNSEX					
WASHING ROOM					
TOTAL PROVIDED	1	2	1	1	1
NEW	1	2	1	1	1

**SPECIAL APPROVALS**

Special approval: (Local Jurisdiction, Department of Insurance, OBC, DPI, DHS, etc. describe below)

### ENERGY REQUIREMENTS ENERGY SUMMARY

The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code:  No  Yes (the remainder of this section is not applicable)

Exempt Building:  No  Yes (Provide code or statutory reference): \_\_\_\_\_

Climate Zone:  3A  4A  5A

Method of Compliance: Energy Code  Performance  Prescriptive  
 ASHRAE 90.1  Performance  Prescriptive  
 (If "Other" specify source here) \_\_\_\_\_

**THERMAL ENVELOPE (Prescriptive method only)**

**Roof/Ceiling Assembly (each assembly)**

DESCRIPTION OF ASSEMBLY	ROOF TRUSS / FIBERGLASS SHINGLES	8" TYPE-X DRYWALL
U-value of total assembly:	42	
R-value of insulation:	NA	
U-value of skylights:	NA	
total square footage of skylights in each assembly:	NA	

**Exterior Walls (each assembly)**

DESCRIPTION OF ASSEMBLY	BRICK VENEER / 8" TYPE-X DRYWALL
U-value of total assembly:	
R-value of insulation:	
Openings (windows or doors with glazing):	
U-value of assembly:	
Solar heat gain coefficient:	
projection factor:	
Door R-values:	

**Walls below grade (each assembly)**

DESCRIPTION OF ASSEMBLY	
U-value of total assembly:	N/A
R-value of insulation:	

**Floors over unconditioned space (each assembly)**

DESCRIPTION OF ASSEMBLY	
U-value of total assembly:	N/A
R-value of insulation:	

**Floors slab on grade**

DESCRIPTION OF ASSEMBLY	EXIST. 4" CONC. SLAB ON GRADE
U-value of total assembly:	12
R-value of insulation:	
Horizontal/vertical requirement:	NO
slab heated:	

### 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

**DESIGN LOADS:**

Importance Factors: Wind (IW) \_\_\_\_\_  
 Snow (IS) \_\_\_\_\_  
 Seismic (IE) \_\_\_\_\_

Live Loads: Roof **20** psf  
 Mezzanine \_\_\_\_\_ psf  
 Floor **60** psf

Ground Snow Load: **5** psf

Wind Load: Basic Wind Speed **90** mph (ASCE-7)  
 Exposure Category **B**  
 Wind Base Shear/For MURFS) Vx \_\_\_\_\_ Vy \_\_\_\_\_

**SEISMIC DESIGN CATEGORY:**  A  B  C  D

Provide the following Seismic Design Parameters:  
 Occupancy Category (Table 1604.5)  I  II  III  IV  
 Spectral Response Acceleration Sa **0.3** %g Sd **0.2** %g  
 Dead end lengths (1020.4)  A  B  C  D  E  F

Site Classification (Table 1613.5)  A  B  C  D  E  F

Data Source:  Field Test  Prescriptive  Historical Data  
 Basic structural system:  Bearing Wall  Dual w/Special Moment Frame  
 Building Frame  Dual w/Immediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum

Seismic Base Shear: Vx \_\_\_\_\_ Vy \_\_\_\_\_  
 Analysis Procedure:  Simplified  Equivalent Lateral Force  Dynamic  
 Architectural, Mechanical, Components anchored?  Yes  No

**LATERAL DESIGN CONTROL:** Earthquake  Wind

**SOIL BEARING CAPACITIES:**  
 Field Test (provide copy of test report): **N/A** psf  
 Presumptive Bearing Capacity: **1000** psf  
 File size, type, and capacity: \_\_\_\_\_

### 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN

(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

**MECHANICAL SUMMARY**

**MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

**Thermal Zone**  
 winter dry bulb: \_\_\_\_\_  
 summer dry bulb: \_\_\_\_\_

**Interior design conditions**  
 winter dry bulb: \_\_\_\_\_  
 summer dry bulb: \_\_\_\_\_  
 relative humidity: \_\_\_\_\_

**Building heating load:** \_\_\_\_\_  
**Building cooling load:** \_\_\_\_\_

**Mechanical Spacing Conditioning System**  
 Unitary  
 description of unit: \_\_\_\_\_  
 heating efficiency: \_\_\_\_\_  
 cooling efficiency: \_\_\_\_\_  
 size category of unit: \_\_\_\_\_  
 Boiler  
 size category, if oversized, state reason: \_\_\_\_\_  
 Chiller  
 size category, if oversized, state reason: \_\_\_\_\_

**List equipment efficiencies:** \_\_\_\_\_

REVISED COMPLETE SET  
 2 - 10 - 2026

REVISIONS

DATE	DESCRIPTION

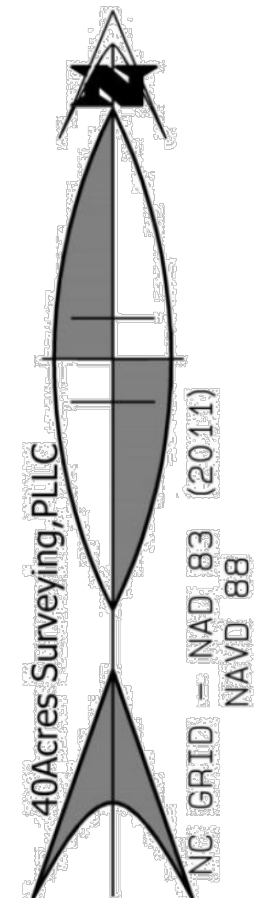
JOB NO. G-945  
 DATE APRIL, 2024  
 DRAWN BY  
 CHECKED BY

RENOVATIONS  
 CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH  
 3709 Groometown Rd.,  
 Greensboro, NC 27407

CLINTON E. GRAVELY AIA ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS  
 324 WEST WENDOVER AVENUE SUIT 111  
 GREENSBORO, NORTH CAROLINA 27408  
 (336) 275-6183  
 FAX (336) 275-6885  
 E-MAIL ADDRESS info@cegravellyarchitect.com

SHEET COV-1 OF 1

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**GROOMETOWN ROAD**  
(NCSR #129 RIGHT OF WAY VARIES  
PER COG DRAWINGS G429E & G)  
LOCAL THROUGHFARE

**STIRRUP DRIVE**  
(NCSR# 1442 60' RIGHT OF WAY  
PER P.B. 112 PG. 126)

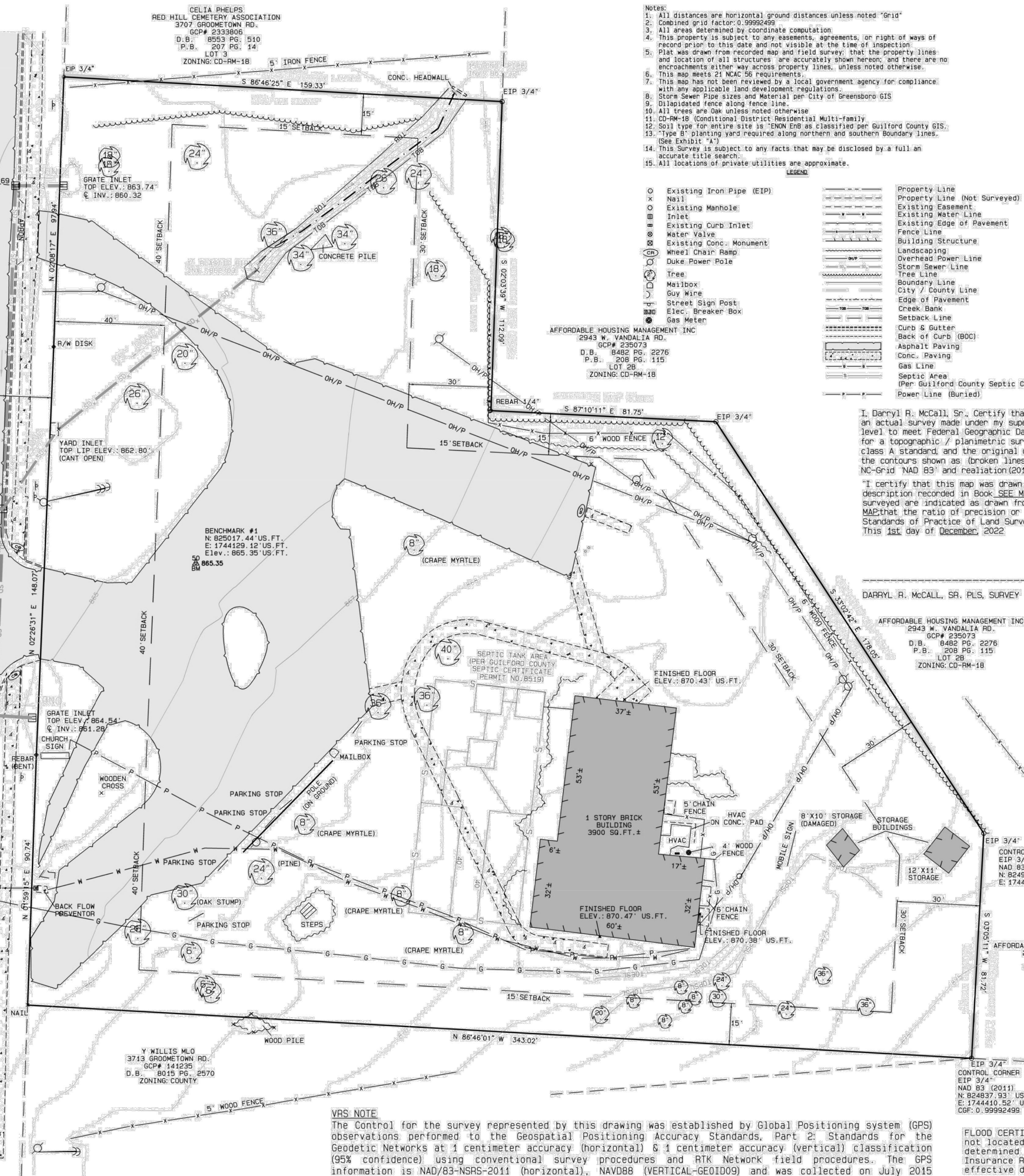


40 ACRES SURVEYING, PLLC  
(FIRM # P-2601)  
WWW.40acressurvey.com  
info@40acressurvey.com  
(336)485-5440  
Greensboro, North Carolina

TYPE	JOB NO.	T22-001
BOUNDARY X ROUTE	SURVEYED BY:	DARRYL MCCALL
TOPOGRAPHIC X SITE	DRAWN 12/01/2022	
	DRAWN BY:	DARRYL MCCALL

SCALE: 1"=20'

SCALE: 1"=20'



- Notes:
- All distances are horizontal ground distances unless noted "Grid"
  - Combined grid factor: 0.9992499
  - All areas determined by coordinate computation
  - This property is subject to any easements, agreements, or rights of way of record prior to this date and not visible at the time of inspection
  - Plat was drawn from recorded map and field survey; that the property lines and location of all structures are accurately shown hereon; and there are no encroachments either way across property lines, unless noted otherwise.
  - This map meets 21 NCAC 56 requirements.
  - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
  - Storm Sewer Pipe sizes and Material per City of Greensboro GIS.
  - Dilapidated fence along fence line.
  - All trees are oak unless noted otherwise
  - CD-RM-1B (Conditional District Residential Multi-family
  - Soil type for entire site is "ENON EB as classified per Guilford County GIS.
  - "Type B" planting yard required along northern and southern boundary lines. (See Exhibit "A")
  - This Survey is subject to any facts that may be disclosed by a full an accurate title search.
  - All locations of private utilities are approximate.

LEGEND

○ Existing Iron Pipe (EIP)	— Property Line
○ Nail	— Property Line (Not Surveyed)
○ Existing Manhole	— Existing Easement
○ Inlet	— Existing Water Line
○ Existing Curb Inlet	— Existing Edge of Pavement
○ Water Valve	— Fence Line
○ Existing Conc. Monument	— Building Structure
○ Wheel Chair Ramp	— Landscaping
○ Duke Power Pole	— Overhead Power Line
○ Tree	— Storm Sewer Line
○ Mailbox	— Tree Line
○ Guy Wire	— Boundary Line
○ Street Sign Post	— City / County Line
○ Elec. Breaker Box	— Edge of Pavement
○ Gas Meter	— Creek Bank
	— Setback Line
	— Curb & Gutter
	— Back of Curb (BOC)
	— Asphalt Paving
	— Conc. Paving
	— Gas Line
	— Septic Area (Per Guilford County Septic Certificate)
	— Power Line (Buried)

I, Darryl R. McCall, Sr., Certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 95 percent confidence level to meet Federal Geographic Data Committee Standards; that this survey was performed to meet the requirements for a topographic / planimetric survey to the accuracy of Class A and vertical accuracy when applicable to the class A standard; and the original data was obtained on 06/30/2015; that the survey was completed on 11/29/2022; the contours shown as (broken lines) may not meet stated standard; and all coordinates are based on NC-Grid "NAD 83" and realization (2011) and all elevations are based on NAVD 88.

I certify that this map was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book SEE MAP page SEE MAP, or other reference source SEE MAP); that the boundaries not surveyed are indicated as drawn from information in Book SEE MAP page SEE MAP or other reference source SEE MAP; that the ratio of precision or positional accuracy is 1:10,000; and that this map meet the requirements of The Standards of Practice of Land Surveying in North Carolina (21 NCAC 56.1600) This 1st day of December, 2022.

DARRYL R. MCCALL, SR., PLS., SURVEY LICENSE # L-5468



AFFORDABLE HOUSING MANAGEMENT INC.  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B. 8482 PG. 2276  
P.B. 208 PG. 115  
LOT 2B  
ZONING: CD-RM-1B

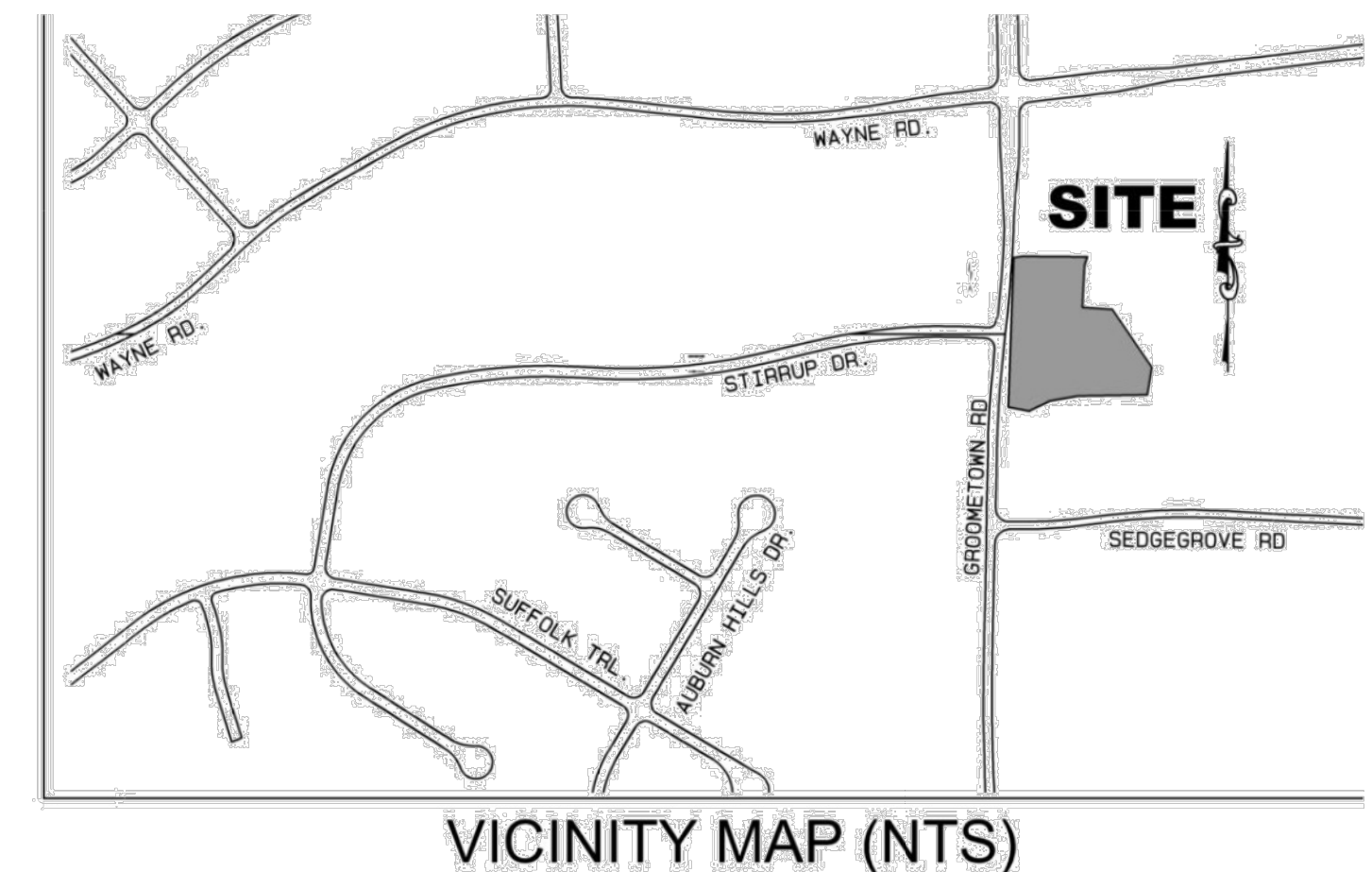
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D.B. 8482 PG. 2276  
P.B. 208 PG. 115  
LOT 2B  
ZONING: CD-RM-1B

SETBACKS

FRONT	40'
SIDE	15'
REAR	30'

PARCEL AREA  
87,887 SQ.FT. ± 2.017 ACRES ±

TOPOGRAPHIC SURVEY MAP FOR  
CELIA PHELPS MEMORIAL  
UNITED METHODIST CHURCH  
3709 GROOMETOWN ROAD  
SUMNER TOWNSHIP  
GUILFORD COUNTY  
GREENSBORO, NC  
DEED REFERENCE:  
DEED BOOK 7623 PG. 1203  
ZONE: COUNTY (RS-40)



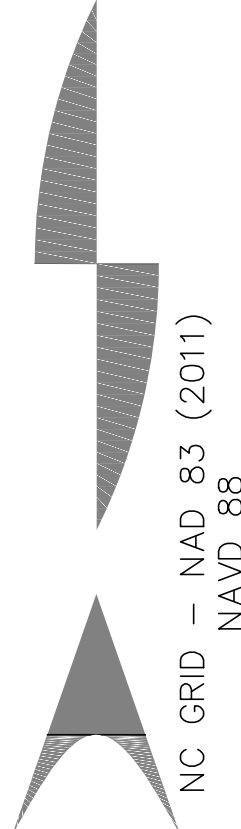
VICINITY MAP (NTS)

VRS NOTE  
The Control for the survey represented by this drawing was established by Global Positioning system (GPS) observations performed to the Geospatial Positioning Accuracy Standards, Part 2: Standards for the Geodetic Networks at 1 centimeter accuracy (horizontal) & 1 centimeter accuracy (vertical) classification (95% confidence) using conventional survey procedures and RTK Network field procedures. The GPS information is NAD/83-NSRS-2011 (horizontal), NAVD88 (VERTICAL-GEOD09) and was collected on July 2015 using one Carlson survey Grade receiver (Sub-Centimeter accuracy)

FLOOD CERTIFICATION: The subject property is not located in a special flood hazard area as determined by State of NC and FEMA per Flood Insurance Rate Map No. 3710784200J, Panel 7842, effective date June 18, 2007

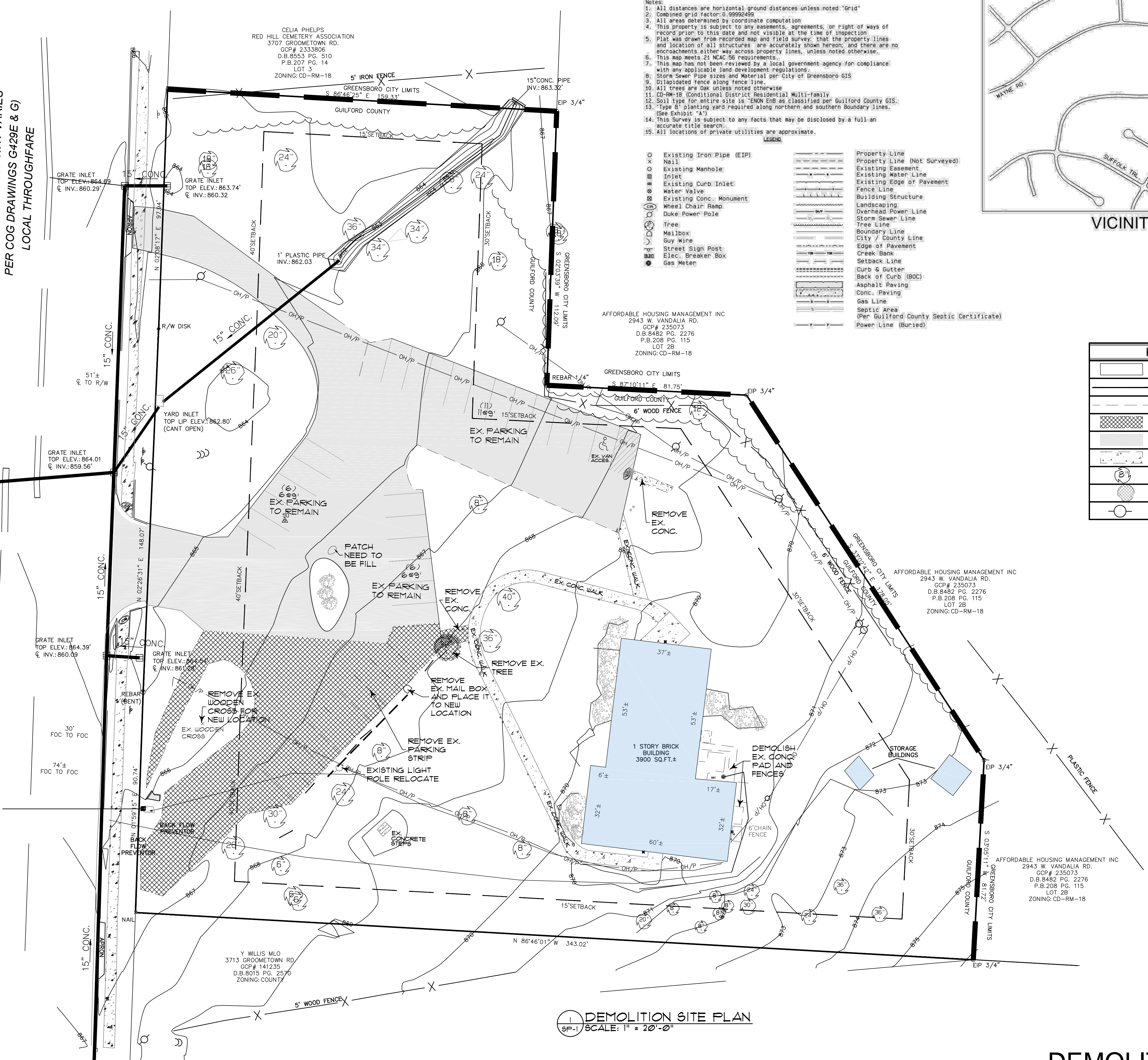
REVISIONS	DATE	JOB NO. G-945	DATE SEPTEMBER 2023	DRAWN BY	CHECKED BY
		CLINTON E. GRAVELY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS	CELIA PHELPS MEMORIAL UMC RENOVATIONS		
		3309 Groometown Rd., Greensboro, NORTH CAROLINA			
		CLINTON E. GRAVELY A.I.A. ARCHITECT / ASSOCIATES ARCHITECTS PLANNERS			
		1336 275-683 SUITE B GRAVELY BUILDING 500 BANNER AVENUE GREENSBORO, NORTH CAROLINA 27401-4388 FAX (336) 275-9885 E-MAIL ADDRESS: C.GRAVELY@BELL.SOUTHWEST.COM			
		SHEET SP-0 OF 3			

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**GROOMETOWN ROAD**  
(NCSR #1129 RIGHT OF WAY VARIES  
PER COG DRAWINGS G429E & G)  
LOCAL THROUGHFARE

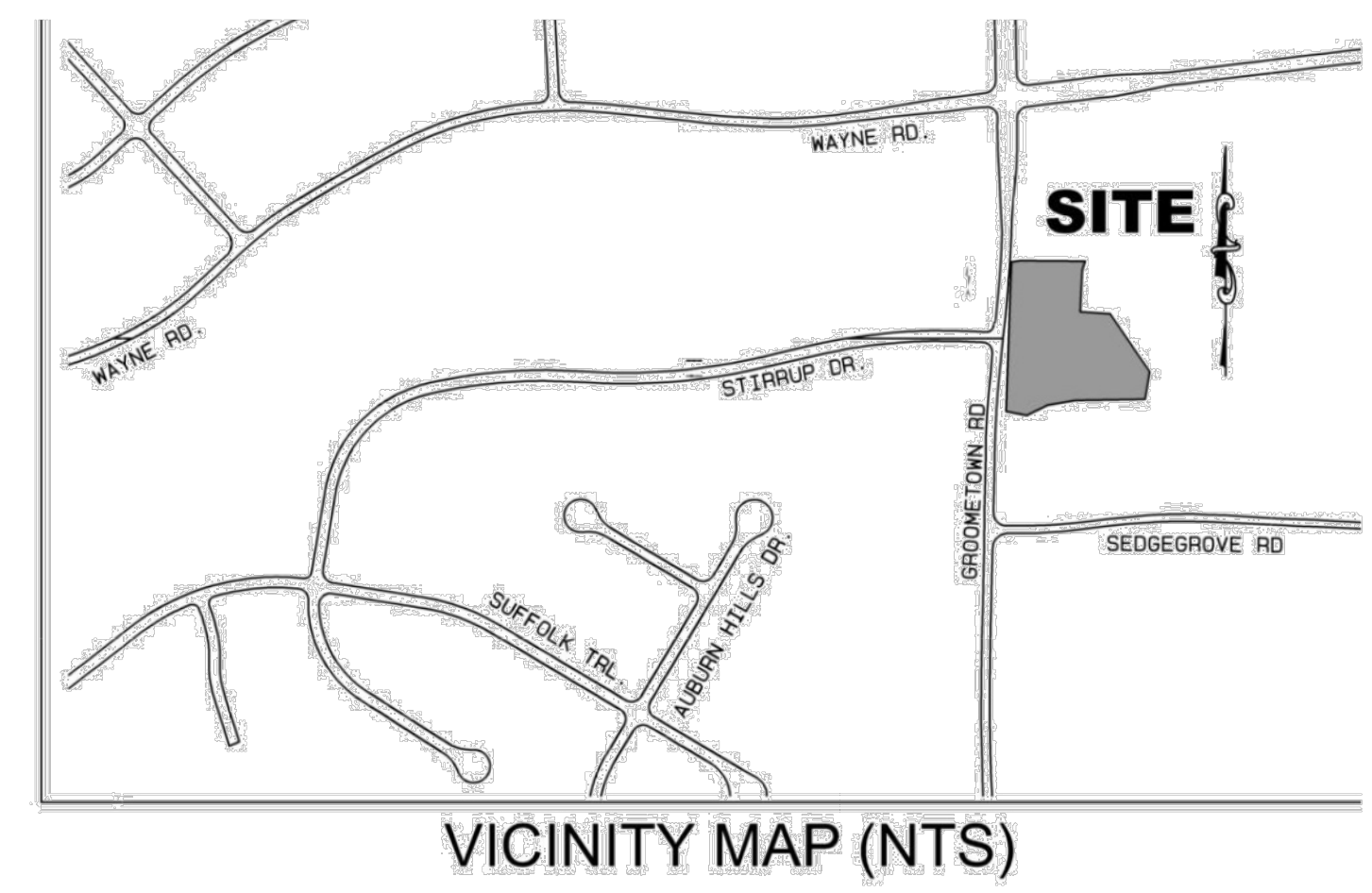
**STIRRUP DRIVE**  
(NCSR# 1442 60' RIGHT OF WAY  
PER P.B. 112 PG. 126)



- Notes:**
- All distances are horizontal ground distances unless noted "Grid"
  - Combined grid factor: 0.9992499
  - All areas determined by coordinate computation
  - This property is subject to any easements, agreements, or right of ways of record prior to this date and not visible at the time of inspection.
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  - Disseminated fence along fence line.
  - All trees are oak unless noted otherwise
  - CD-94-18 Conditional District Residential Multi-Family
  - Soil type for entire site is "ENON EB as classified per Guilford County GIS.
  - "Type B" planting yard required along northern and southern boundary lines. (See Exhibit "A")
  - This Survey is subject to any facts that may be disclosed by a full an accurate title search.
  - All locations of private utilities are approximate.

**LEGEND**

○	Existing Iron Pipe (EIP)	—	Property Line
×	Nail	- - -	Property Line (Not Surveyed)
○	Existing Manhole	- - -	Existing Easement
○	Trivet	- - -	Existing Water Line
○	Existing Curb Inlet	- - -	Existing Edge of Pavement
○	Water Valve	- - -	Fence Line
○	Existing Conc. Monument	- - -	Building Structure
○	Wheel Chair Ramp	- - -	Landscaping
○	Duke Power Pole	- - -	Overhead Power Line
○	Tree	- - -	Storm Sewer Line
○	Mailbox	- - -	Tree Line
○	Guy Wire	- - -	Boundary Line
○	Street Sign Post	- - -	City / County Line
○	Elec. Breaker Box	- - -	Edge of Pavement
○	Gas Meter	- - -	Creek Bank
		- - -	Setback Line
		- - -	Curb & Gutter
		- - -	Back of Curb (BOC)
		- - -	Asphalt Paving
		- - -	Conc. Paving
		- - -	Gas Line
		- - -	Septic Area (Per Guilford County Septic Certificate)
		- - -	Power Line (Buried)



**KEY TO INDICATIONS**

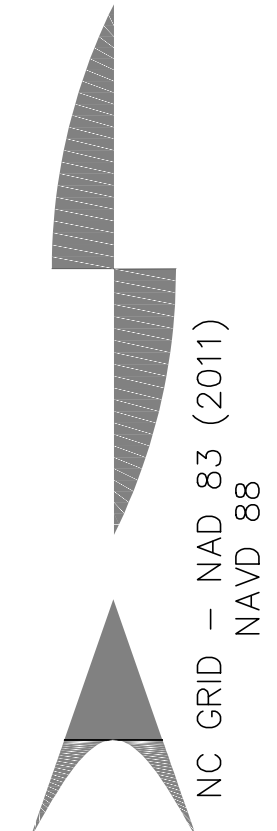
[Solid rectangle]	EXISTING BUILDING
[Dashed line]	PROPERTY LINE
[Dotted line]	DEMOLITION
[Hatched area]	REMOVE EX. DRIVEWAY / DEMOLITION
[Stippled area]	EX. DRIVEWAY
[Cross-hatched area]	EX. CONCRETE
[Circle with 'T']	EX. GREENERY / TREE
[Circle with 'X']	REMOVE EX. TRESS
[Circle with 'L']	EX. DUKE ENERGY LIGHT

**DEMOLITION SITE PLAN**  
SP-1 SCALE: 1" = 20'-0"

**DEMOLITION SITE PLAN**

 CLINTON E. GRAVELLY AIA ARCHITECT ASSOCIATES ARCHITECTS PLANNERS (336) 275-6183 374 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27401 FAX (336) 275-9885 E-MAIL ADDRESS: info@claygravelly.com	RENOVATIONS TO CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groometown Rd, Greensboro, NC 27407
	JOB NO. G-345 DATE APRIL, 2024 DRAWN BY CHECKED BY
REVISIONS DATE DESCRIPTION	

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ARCHITECT...VIOLATORS SUBJECT TO LEGAL ACTION



**GROOMETOWN ROAD**  
(NCSR #129 RIGHT OF WAY VARIES  
PER COG DRAWINGS G429E & G)  
LOCAL THROUGHFARE

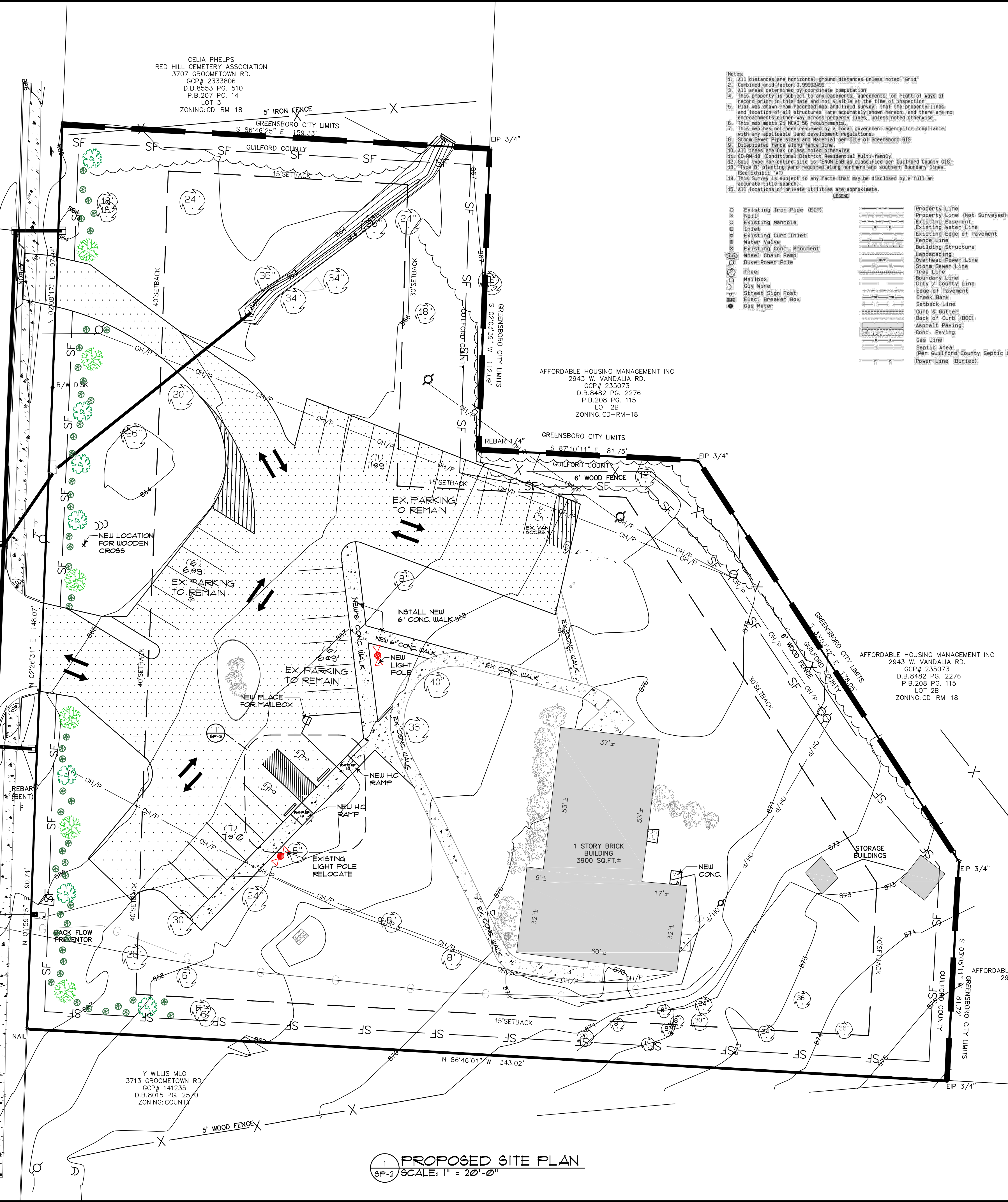
**STIRRUP DRIVE**  
(NCSR# 1442 60' RIGHT OF WAY  
PER P.B. 112 PG. 126)

CELIA PHELPS  
RED HILL CEMETERY ASSOCIATION  
3707 GROOMETOWN RD.  
GCP# 2333806  
D.B.8553 PG. 510  
P.B.207 PG. 14  
LOT 3  
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B.8482 PG. 2276  
P.B.208 PG. 115  
LOT 2B  
ZONING: CD-RM-18

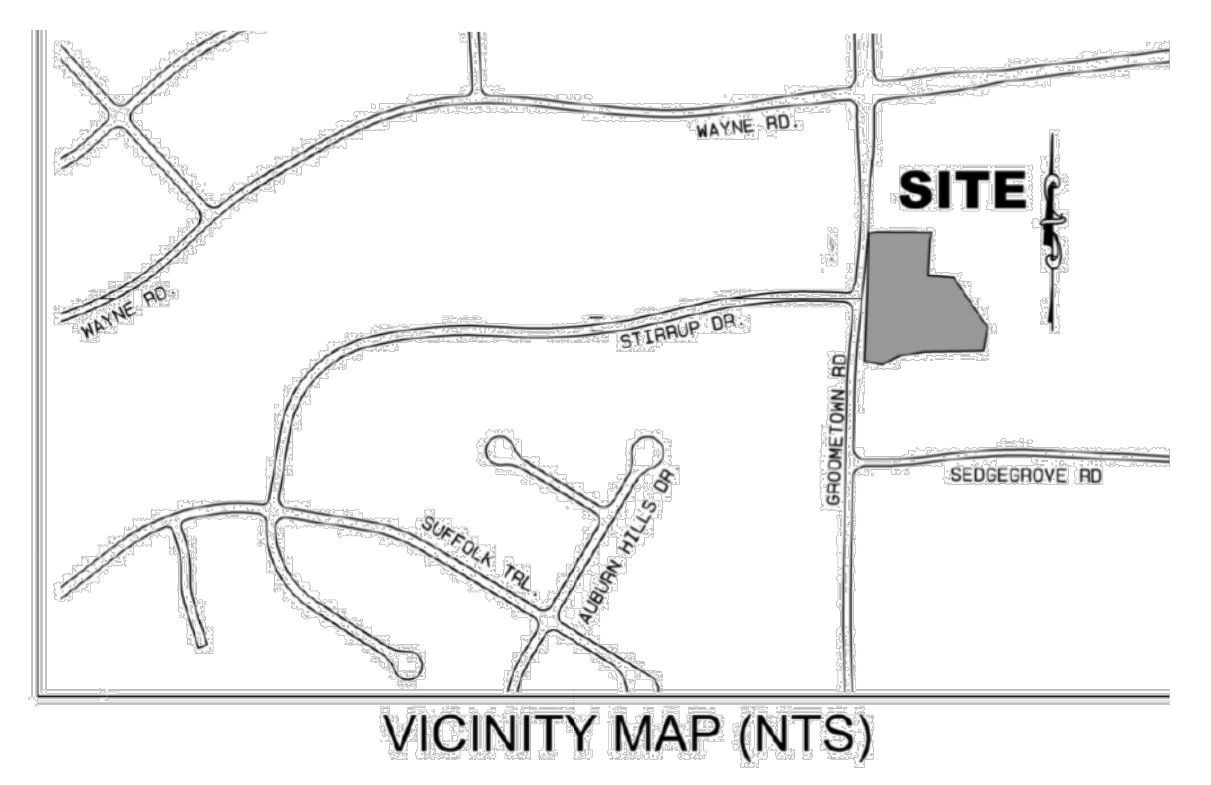
AFFORDABLE HOUSING MANAGEMENT INC  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B.8482 PG. 2276  
P.B.208 PG. 115  
LOT 2B  
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B.8482 PG. 2276  
P.B.208 PG. 115  
LOT 2B  
ZONING: CD-RM-18



- Notes:
- All distances are horizontal ground distances unless noted "Grid"
  - Combined grid factor: 0.9998269
  - All areas determined by coordinate computation
  - This property is subject to any easements, agreements, or rights of way of record prior to this sale and not visible at the time of inspection
  - Plan was drawn from recorded map and field survey; that the property lines and location of all structures are accurately shown hereon, and there are no encroachments either way across property lines, unless noted otherwise
  - This map meets 21 N.C.A.C. 55 requirements.
  - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
  - Storm Sewer Pipe Sizes and Material per City of Greensboro GIS
  - Dislocate fence along fence line.
  - All trees are Oak unless noted otherwise
  - Dislocate Conditional District Measurement Multi-Family
  - Soil type for entire site is "ENON ENB as classified per Guilford County GIS.
  - "Type B" planting yard required along northern and southern boundary lines. (See Exhibit "A")
  - This Survey is subject to any facts that may be disclosed by a full and accurate title search.
  - All locations of private utilities are approximate.

⊙	Existing Iron Pipe (EIP)	---	Property Line (Not Surveyed)
⊙	Mail	---	Existing Easement
⊙	Existing Manhole	---	Existing Water Line
⊙	Existing Curb Inlet	---	Existing Edge of Pavement
⊙	Water Valve	---	Fence Line
⊙	Existing Conc. Monument	---	Building Structure
⊙	Wheel Chair Ramp	---	Overhead Power Line
⊙	Duke Power Pole	---	Storm Sewer Line
⊙	Tree	---	Store Sign Line
⊙	Mailbox	---	Boundary Line
⊙	Guy Wire	---	City / County Line
⊙	Street Sign Post	---	Edge of Pavement
⊙	Elec. Breaker Box	---	Creek Bank
⊙	Gas Meter	---	Setback Line
---	---	---	Curb & Gutter
---	---	---	Back of Curb (BOC)
---	---	---	Asphalt Paving
---	---	---	Conc. Paving
---	---	---	Gas Line
---	---	---	Septic Area
---	---	---	(Per Guilford County Septic Certificate)
---	---	---	Power Line (Buried)



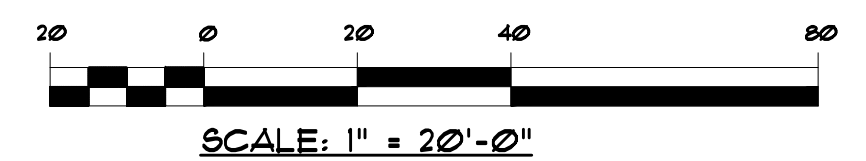
**PARKING:**

ASSEMBLY	
CONCENTRATED CHAIRS ONLY (NOT FIXED)	1 NET
831 / 1 = 120	
CHURCH	1 PER 4 SEATS IN MAIN ASSEMBLY ROOM
EXISTING PARKING	
22 PARKING SPACES	
1 VAN ACCESSIBLE SPACE	
PROPOSED PARKING	
5 NEW PARKING	
1 NEW H.C SPACE	
1 VAN ACCESSIBLE SPACE	
<b>TOTAL PARKING SPACE PROVIDED</b>	<b>30</b>

**KEY TO INDICATIONS**

---	EX. 6" WOOD FENCE
---	PROPERTY LINE
⊙	EXISTING TREE AND PLANTS
⊙	NEW LANDSCAPE AREA
⊙	EX. BUILDING
⊙	NEW CONCRETE
⊙	NEW DRIVEWAY
---	SILT FENCE
⊙	NEW H.C. PARKING SIGN
⊙	VAN ACCESSIBLE SPACE
⊙	NEW LANDSCAPING
⊙	EX. GREENERY
⊙	PROPOSED DUKE ENERGY LIGHT
⊙	EX. DUKE ENERGY LIGHT

- NOTES**
- PATCH, PREP AS NEEDED AND OVERLAY PARKING LOT WITH 1" ASPHALT.
  - INSTALL SILT FENCE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
  - REPAIR / REPLACE ANY DAMAGED SIDEWALK ALONG PROPERTY FRONTAGE BY ADA REQUIREMENT
  - PROVIDING STRIPING AND PARKING SYMBOL
  - REMOVE AND REPLACE PARKING STOPS
  - PROVIDING H.C. PARKING SIGNS

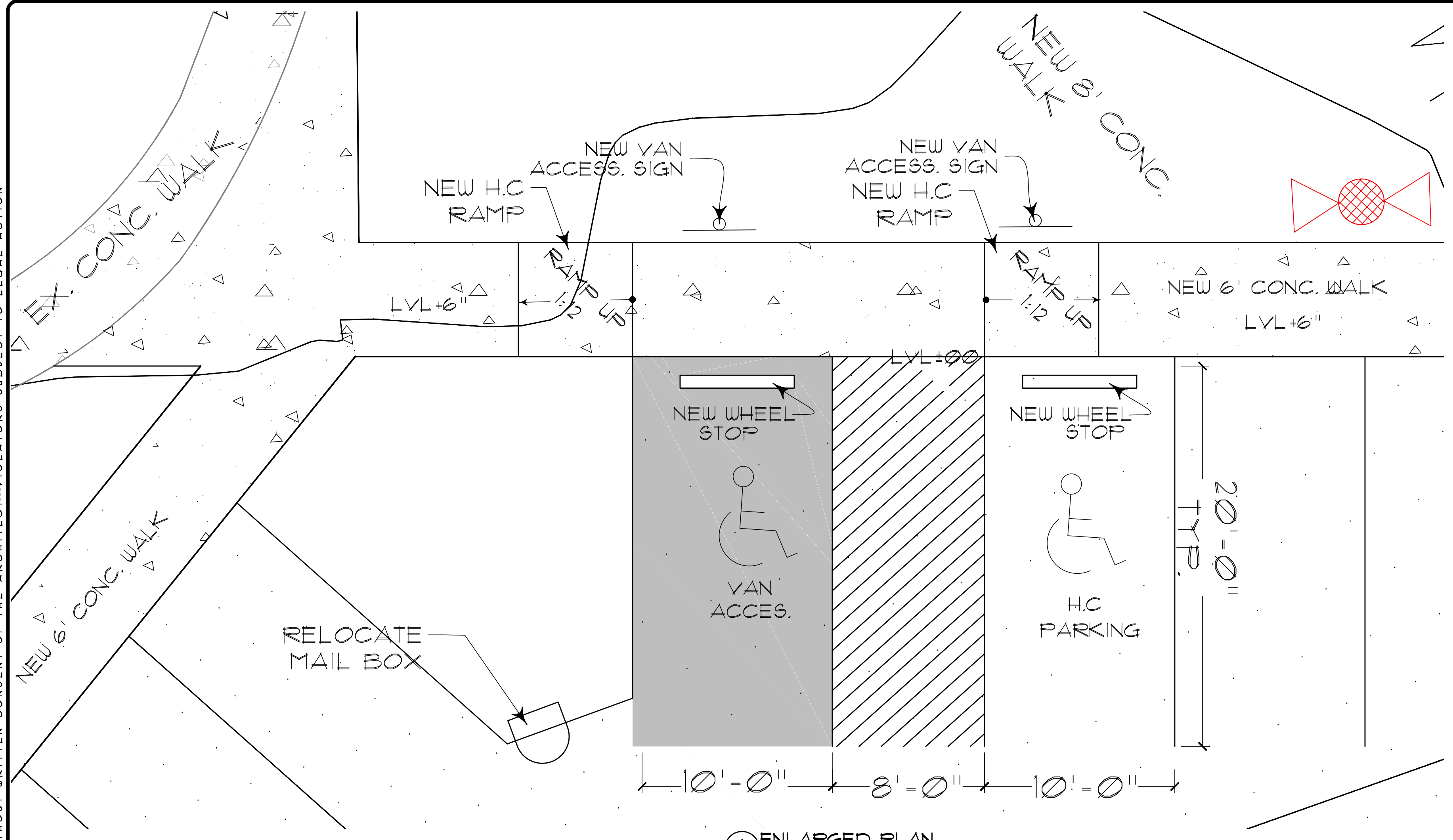


1 PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"

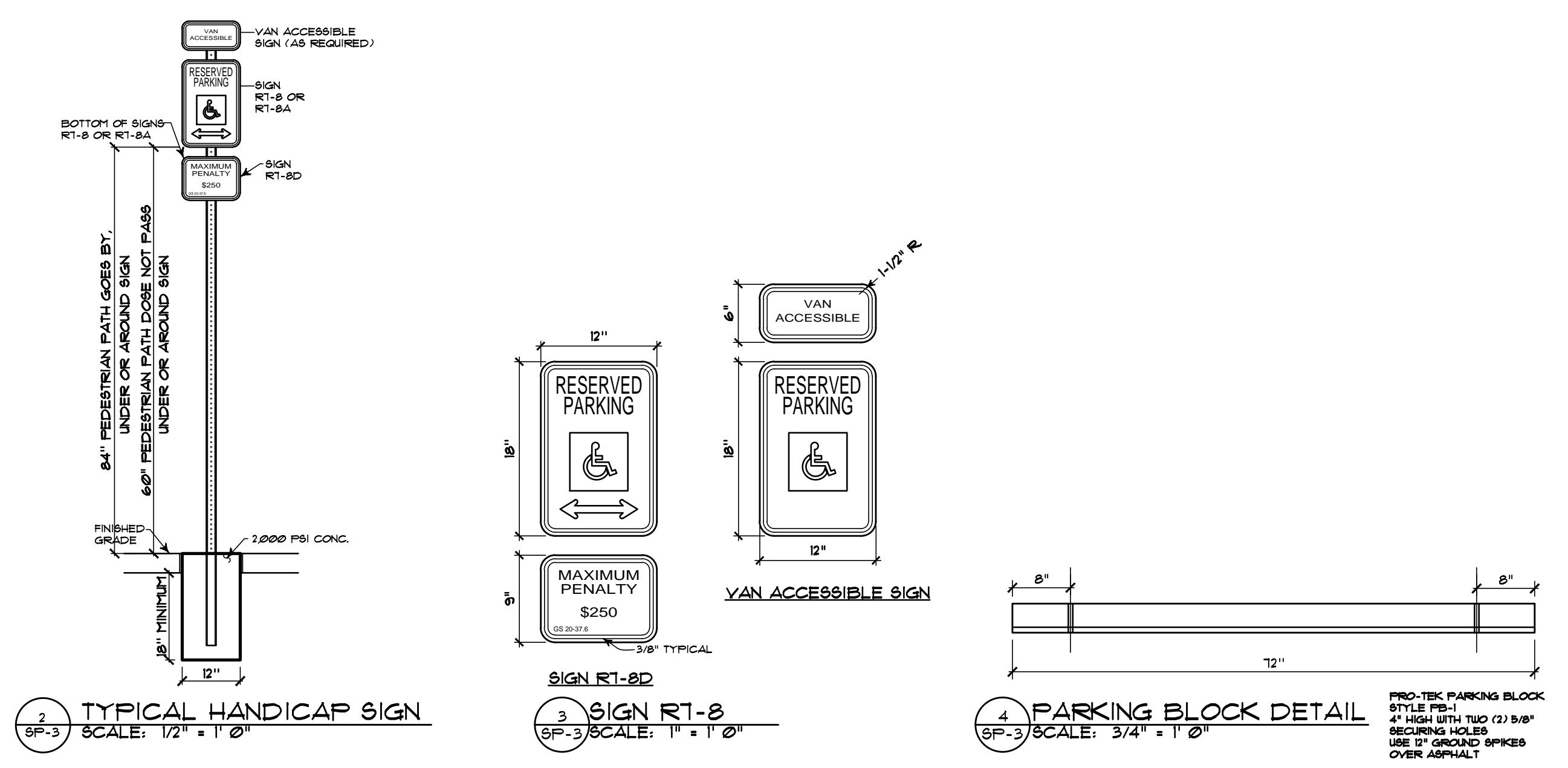
PROPOSED SITE PLAN

REVISIONS	DATE	JOB NO. G-345	DATE APRIL, 2024
		DRAWN BY	CHECKED BY
RENOVATIONS TO CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groometown Rd, Greensboro, NC 27407			
<b>CLINTON E. GRAVELY AIA</b> <b>ARCHITECT ASSOCIATES</b> <b>ARCHITECTS PLANNERS</b> 374 WEST WENDOVER AVENUE SUIT 110 GREENSBORO, NORTH CAROLINA 27407 (336) 775-6183 FAX (336) 775-9885 E-MAIL ADDRESS info@clgravelyarchitect.com			
SHEET <b>SP-2</b> OF 4			

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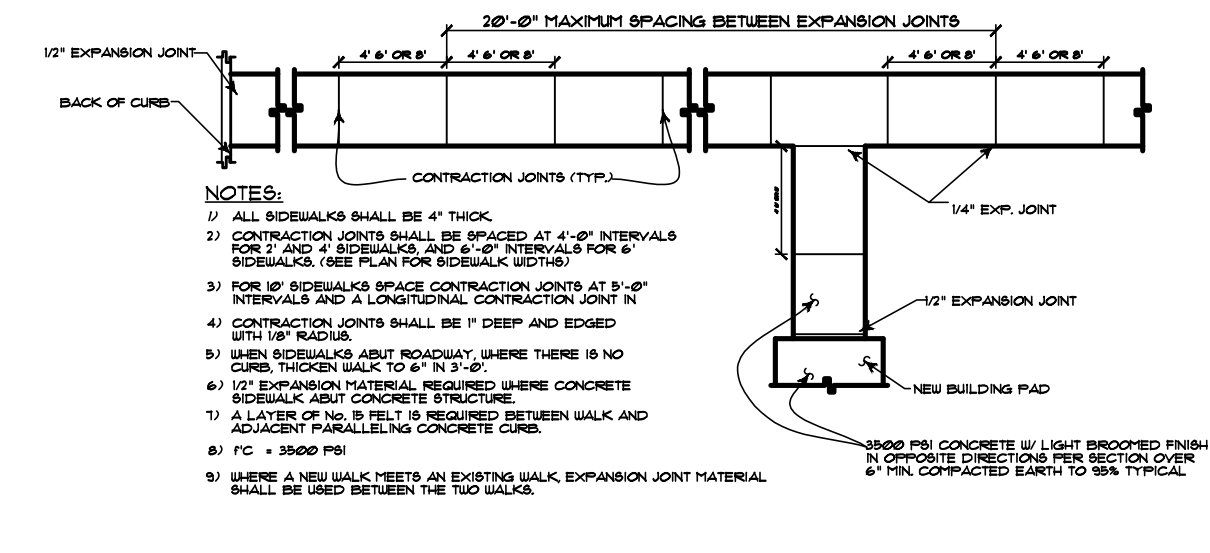
**1 ENLARGED PLAN**  
 SP-3 SCALE: 1/4" = 1'-0"



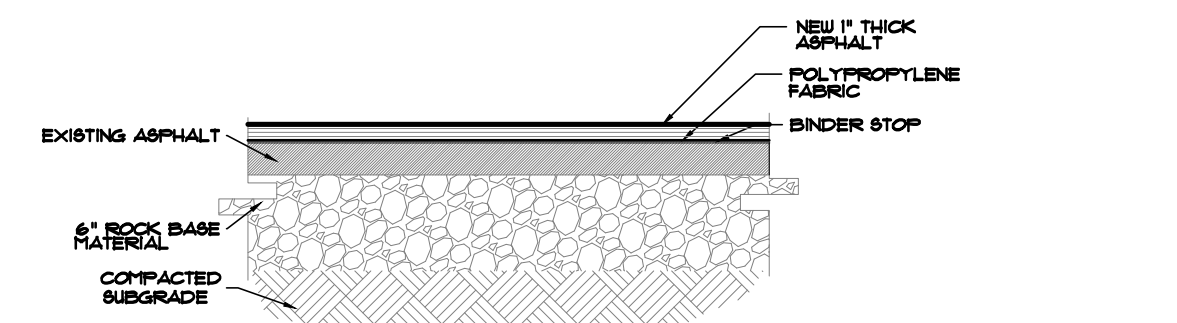
**2 TYPICAL HANDICAP SIGN**  
 SP-3 SCALE: 1/2" = 1'-0"

**3 SIGN RT-8**  
 SP-3 SCALE: 1" = 1'-0"

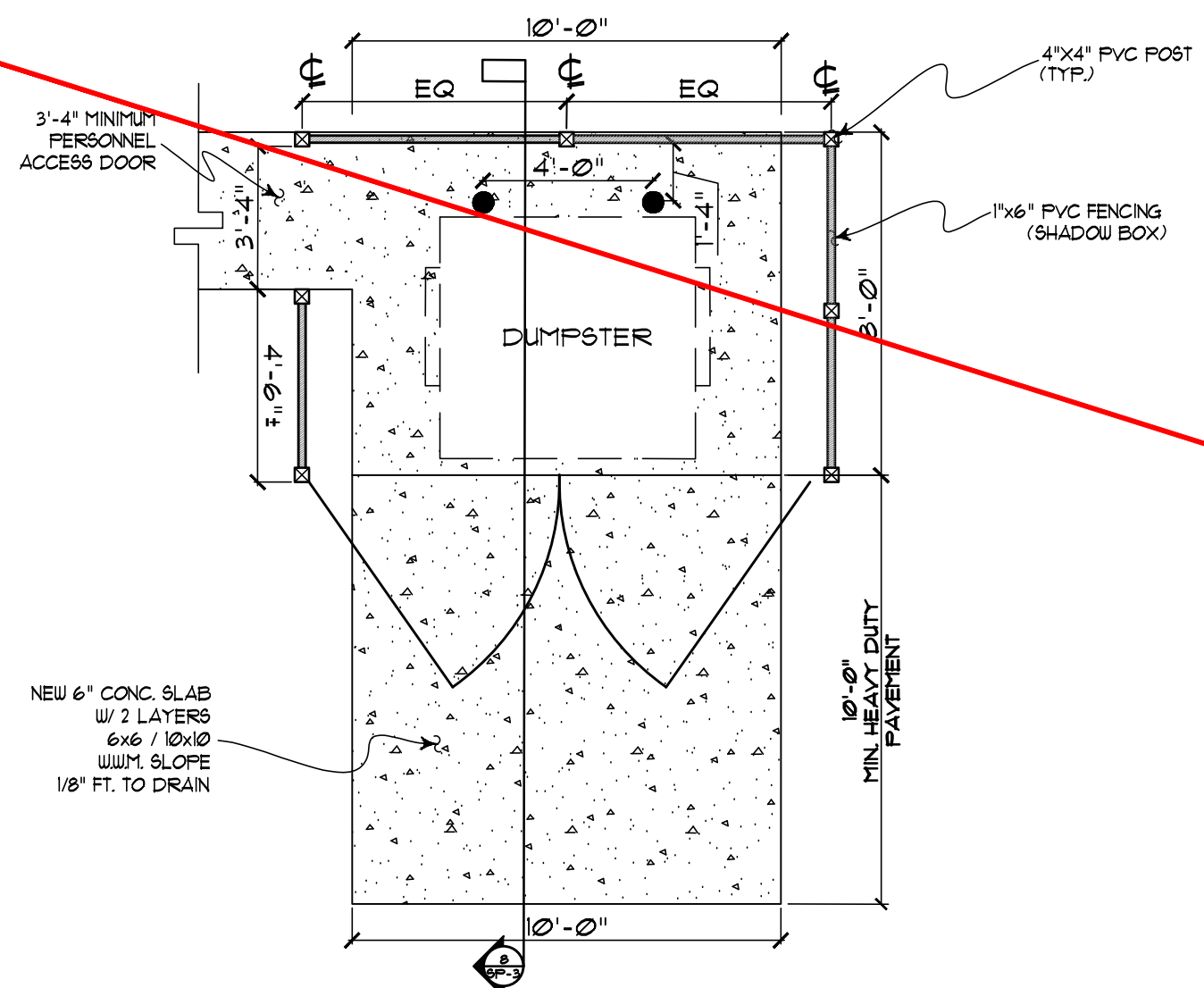
**4 PARKING BLOCK DETAIL**  
 SP-3 SCALE: 3/4" = 1'-0"



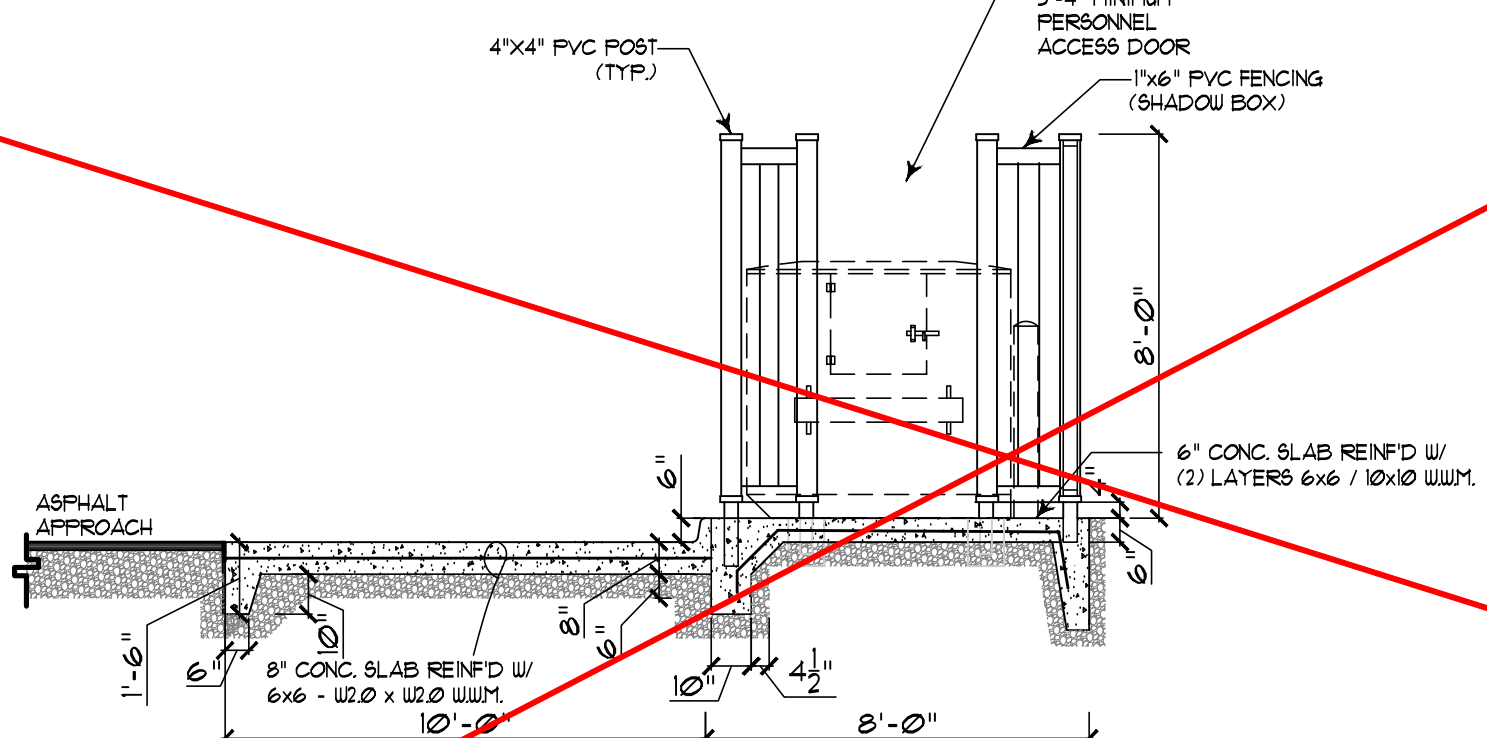
**5 STANDARD JOINT LAYOUT FOR CONCRETE SIDEWALKS**  
 SP-3 SCALE: 3/32" = 1'-0"



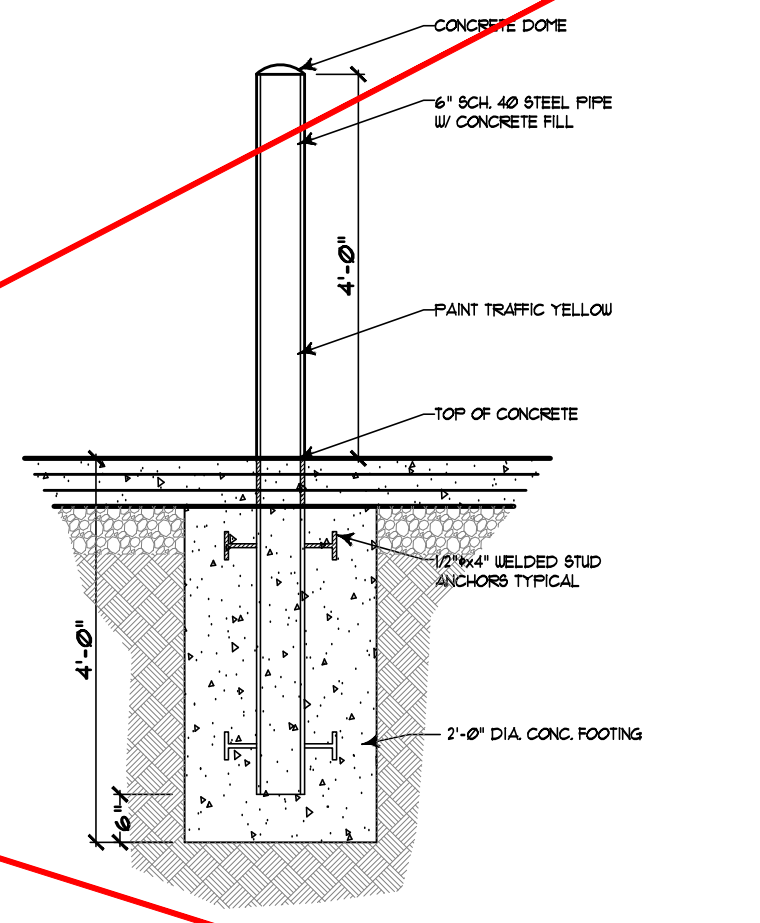
**6 ASPHALT OVERLAY**  
 SP-3 SCALE: 1" = 1'-0"



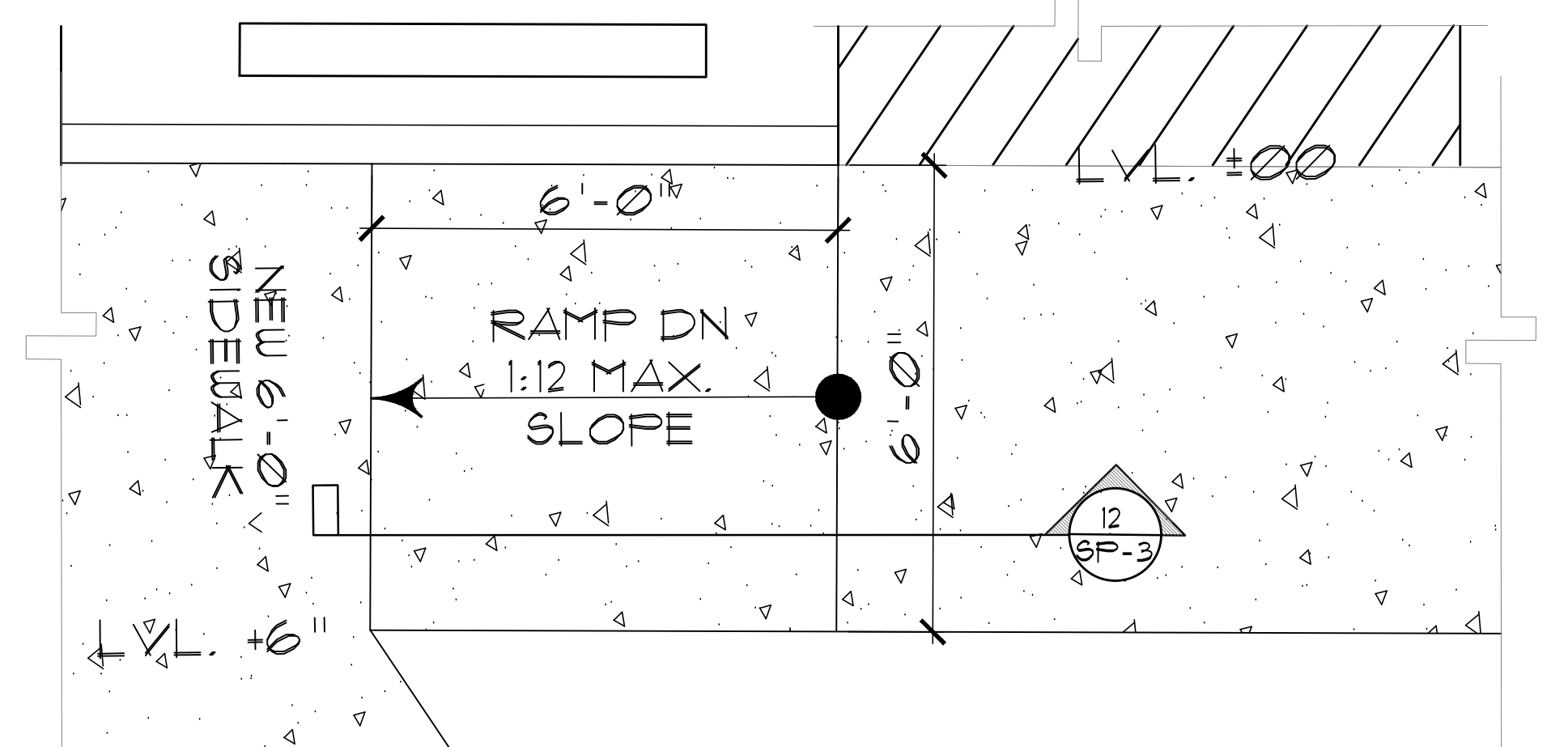
**7 ENCLOSURE DUMPSTER PAD PLAN (N.I.C.)**  
 SP-3 SCALE: 1/4" = 1'-0"



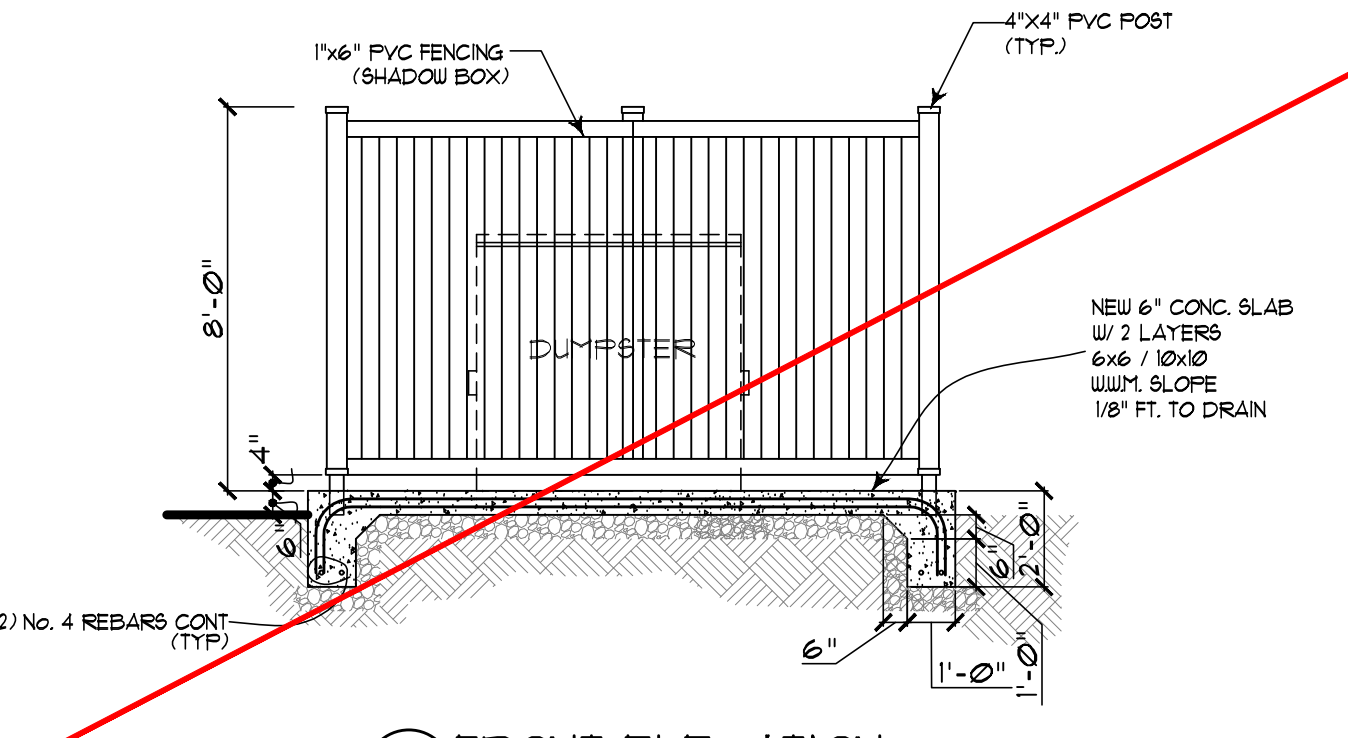
**8 SECTION THROUGH ENCLOSURE (N.I.C.)**  
 SP-3 SCALE: 1/4" = 1'-0"



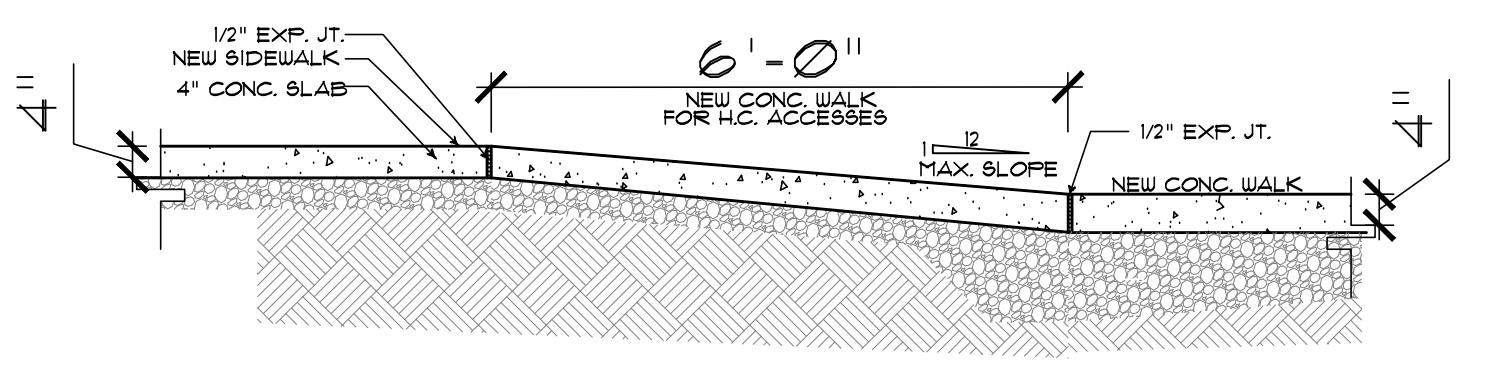
**9 TYPICAL PIPE BOLLARD (N.I.C.)**  
 SP-3 SCALE: 1/2" = 1'-0"



**10 ENLARGED H.C RAMP**  
 SP-3 SCALE: 1/2" = 1'-0"



**11 FRONT ELEVATION (N.I.C.)**  
 SP-3 SCALE: 1/4" = 1'-0"



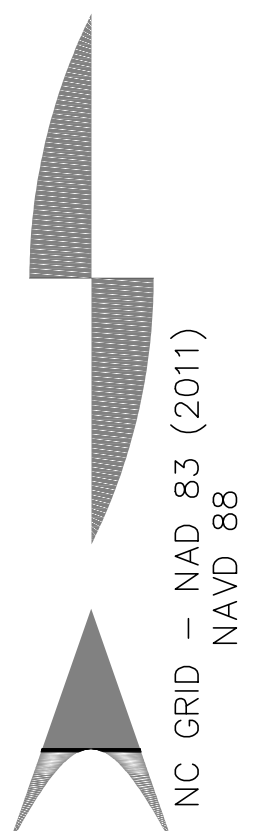
**12 H.C RAMP AND SIDEWALK**  
 SP-3 SCALE: 1/2" = 1'-0"

**PROPOSED SITE PLAN**  
 NEW H.C SIGNS, DUMPSTER PAD, ELEVATION AND SECTION  
 NEW H.C RAMP PLAN, SECTIONS AND DETAILS

REVISIONS	DATE	JOB NO. G-945	DATE APRIL 2024
		DRAWN BY	CHECKED BY
RENOVATIONS TO CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groometown Rd, Greensboro, NC 27407			
CLINTON E. GRAVELLY A.I.A. ARCHITECT ASSOCIATES ARCHITECTS PLANNERS (336) 275-6183 324 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27407 F-MAIL ADDRESS info@gravellyarchitect.com			
<b>SHEET SP-3 OF 4</b>			

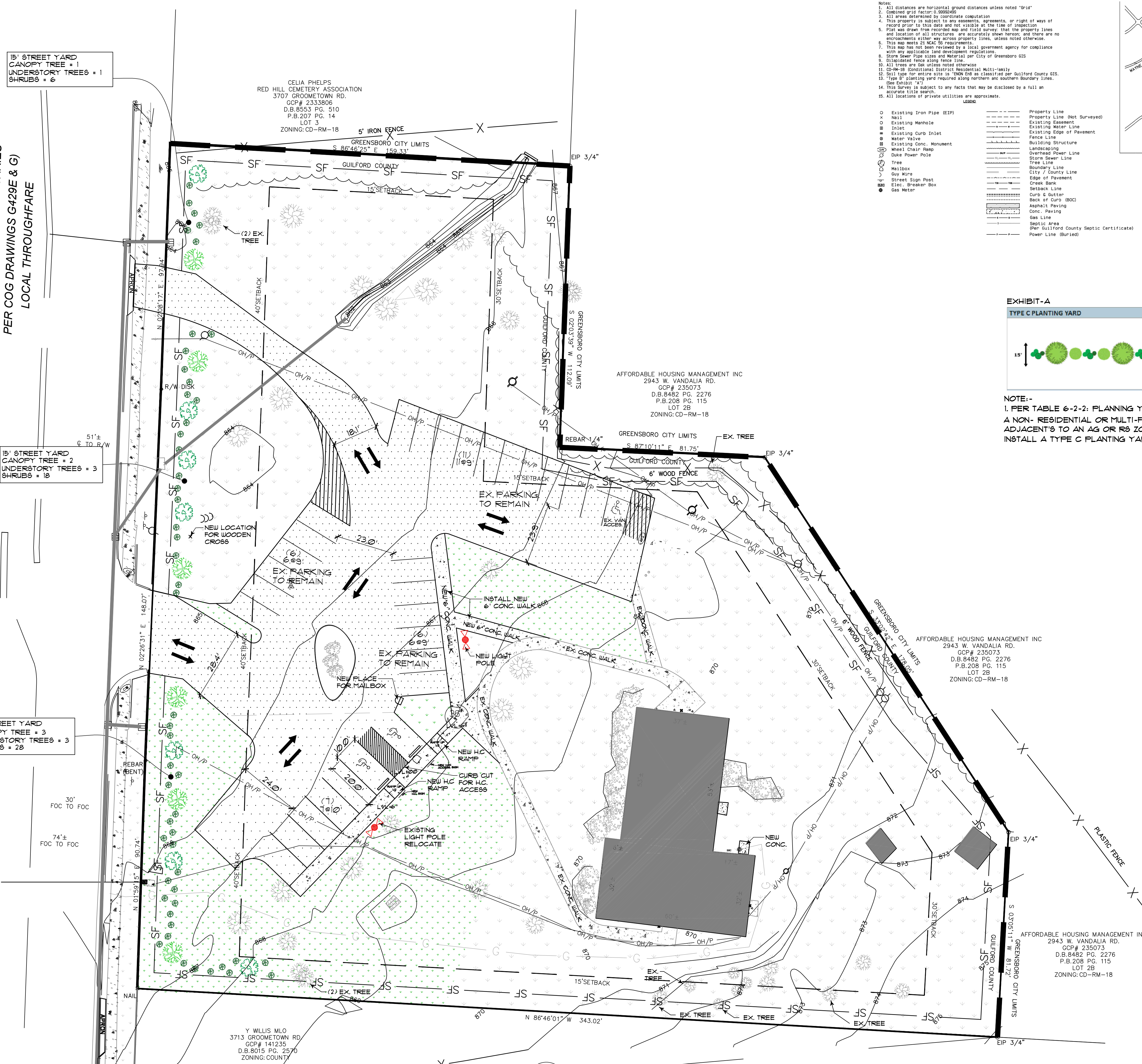


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**GROOMETOWN ROAD**  
(NCSR #1129 RIGHT OF WAY VARIES  
PER COG DRAWINGS G429E & G)  
LOCAL THROUGHFARE

**STIRRUP DRIVE**  
(NCSR # 1442 60' RIGHT OF WAY  
PER P.B. 112 PG. 126)



15' STREET YARD  
CANOPY TREE = 1  
UNDERSTORY TREES = 1  
SHRUBS = 6

15' STREET YARD  
CANOPY TREE = 2  
UNDERSTORY TREES = 3  
SHRUBS = 18

15' STREET YARD  
CANOPY TREE = 3  
UNDERSTORY TREES = 3  
SHRUBS = 28

CELIA PHELPS  
RED HILL CEMETERY ASSOCIATION  
3707 GROOMETOWN RD.  
GCP# 2333806  
D.B.8553 PG. 510  
P.B.207 PG. 14  
LOT 3  
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B.8482 PG. 2276  
P.B.208 PG. 115  
LOT 2B  
ZONING: CD-RM-18

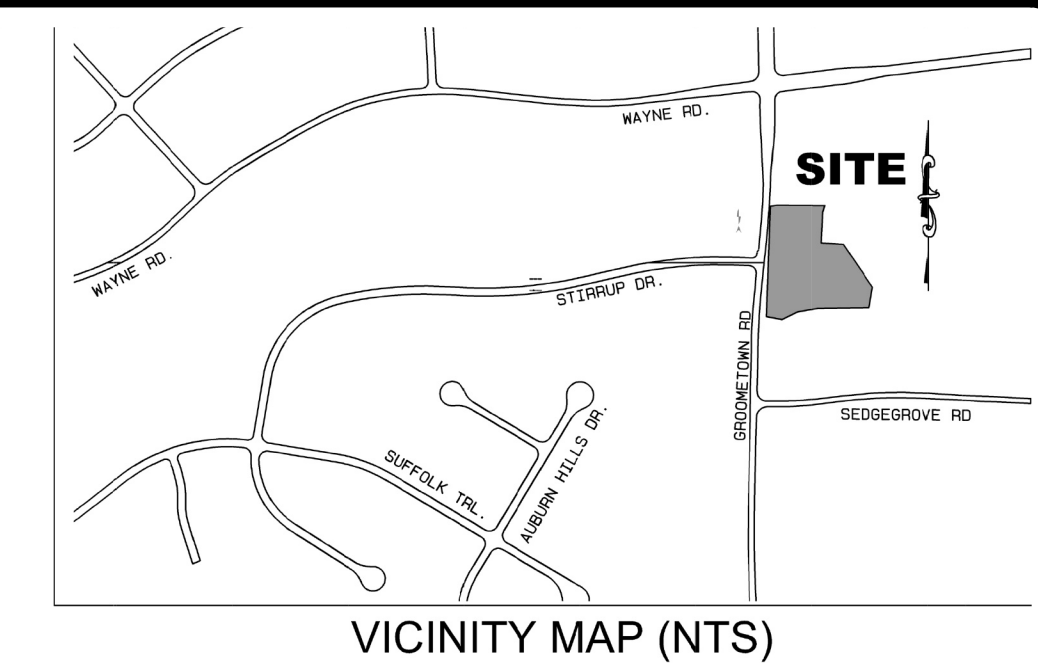
AFFORDABLE HOUSING MANAGEMENT INC  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B.8482 PG. 2276  
P.B.208 PG. 115  
LOT 2B  
ZONING: CD-RM-18

AFFORDABLE HOUSING MANAGEMENT INC  
2943 W. VANDALIA RD.  
GCP# 235073  
D.B.8482 PG. 2276  
P.B.208 PG. 115  
LOT 2B  
ZONING: CD-RM-18

Y WILLIS MLO  
3713 GROOMETOWN RD.  
GCP# 141235  
D.B.8015 PG. 2570  
ZONING: COUNTY

- Notes:
- All distances are horizontal ground distances unless noted "Grid"
  - Combined grid factor: 0.9998469
  - All areas determined by coordinate computation
  - This property is subject to any assessments, agreements, or right of ways of record prior to this date and not visible at the time of inspection
  - Plan was drawn from recorded map and field survey; that the property lines and location of all structures are accurately shown hereon, and there are no encroachments either way across property lines, unless noted otherwise.
  - This map meets 21 N.C.A.C. requirements.
  - This map has not been reviewed by a local government agency for compliance with any applicable land development regulations.
  - Displaced fence along fence line.
  - Stock Water Pipe size and Material per City of Greensboro GIS
  - All trees are 6" dbh unless noted otherwise
  - CD-RM-18 Conditional District Residential Multi-Family
  - Soil type for entire site is "DkSd" per classified per Guilford County GIS.
  - "Type H" planting yard required along northern and southern boundary lines. (See Exhibit "A")
  - This Survey is subject to any facts that may be disclosed by a full and accurate title search.
  - All locations of private utilities are approximate.

- |                            |  |
|----------------------------|--|
| ○ Existing Iron Pipe (EIP) | --- Property Line                            |
| × Nail                     | --- Property Line (Not Surveyed)             |
| ○ Existing Manhole         | --- Existing Easement                        |
| ■ Inlet                    | --- Existing Water Line                      |
| ○ Existing Curb Inlet      | --- Existing Edge of Pavement                |
| ○ Water Valve              | --- Fence Line                               |
| ○ Existing Conc. Monument  | --- Building Structure                       |
| ○ Wheel Chair Ramp         | --- Landscaping                              |
| ○ Duke Power Pole          | --- Overhead Power Line                      |
| ○ Tree                     | --- Tree Line                                |
| ○ Mailbox                  | --- Boundary Line                            |
| ○ Guy Wire                 | --- City / County Line                       |
| ○ Street Sign Post         | --- Edge of Pavement                         |
| ○ Elec. Breaker Box        | --- Creek Bank                               |
| ○ Gas Meter                | --- Setback Line                             |
|                            | --- Curb & Gutter                            |
|                            | --- Back of Curb (BOC)                       |
|                            | --- Asphalt Paving                           |
|                            | --- Conc. Paving                             |
|                            | --- Gas Line                                 |
|                            | --- Septic Area                              |
|                            | --- (Per Guilford County Septic Certificate) |
|                            | --- Power Line (Buried)                      |



**EXHIBIT-A**  
**TYPE C PLANTING YARD**

	A low-density screen intended to partially block visual contact between uses and create spatial separation.	15'	20'	40'	Canopy: 2 per 100 ft. Understory: 3 per 100 ft. Shrubs: 17 per 100 ft.
--	---	-----	-----	-----	--

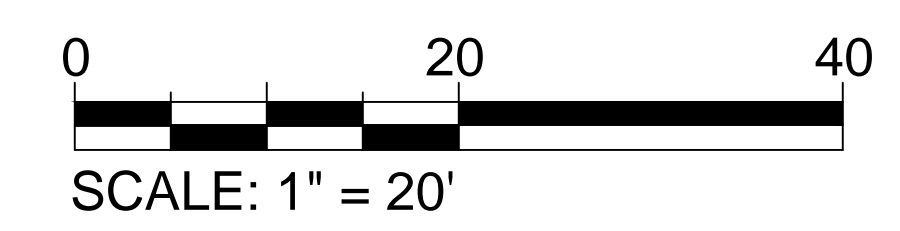
**NOTE:-**  
1. PER TABLE 6-2-2: PLANNING YARD CHART  
A NON-RESIDENTIAL OR MULTI-FAMILY RESIDENTIAL WITH 8 OR MORE UNITS ADJACENT TO AN AG OR R8 ZONING DISTRICT SHALL BE REQUIRED TO INSTALL A TYPE C PLANTING YARD (MIN AVG WIDTH OF 20') IS APPLICABLE.

**LANDSCAPING LEGEND**

- EX. GREENERY & TREE
- NEW LAWN
- NEW CANOPY TREES
- NEW UNDERSTORY TREES
- STREETYARD/BUFFERYARD SHRUB
- EX. LANDSCAPING

**KEY TO INDICATIONS**

	EX. 6' WOOD FENCE
	PROPERTY LINE
	EXISTING TREE AND PLANTS
	EX. BUILDING
	NEW CONCRETE
	NEW DRIVEWAY
	SILT FENCE
	NEW HC PARKING SIGN
	VAN ACCESSIBLE SPACE
	NEW LANDSCAPING
	EX. GREENERY
	PROPOSED DUKE ENERGY LIGHT
	EX. DUKE ENERGY LIGHT



1 LANDSCAPE PLAN  
L-1 SCALE: 1" = 20'

LANDSCAPE PLAN

REVISIONS				
DATE	JOB NO.	DATE	DRAWN BY	CHECKED BY
	G-345	APRIL, 2024		
RENOVATIONS TO CCLIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groometown Rd, Greensboro, NC 27407				
CLINTON E. GRAVELLY AIA ARCHITECT ASSOCIATES ARCHITECTS PLANNERS (336) 275-6183 374 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27407 FAX (336) 275-9885 E-MAIL ADDRESS: info@clayarchitect.com				
SHEET 1 OF 2				

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ARCHITECT...VIOLATORS SUBJECT TO LEGAL ACTION

**REQUIRED SOIL PREPARATION AND WATER WISE PLANTING TECHNIQUES:**

1. SOIL PREPARATION FOR THE ENTIRE WIDTH AND LENGTH OF THE LANDSCAPE YARD INCLUDES THE ADDITION OF 2" ORGANIC AMENDMENTS TILLED TO A DEPTH OF (8) TO TWELVE (12) INCHES.
2. FOR BALL AND BURLAP TREES, REMOVE ALL TWINE, BURLAP, AND WIRE BASKET FROM AROUND THE TRUNK AND THE TOP THIRD OF THE ROOT BALL.
3. ALL PLANTINGS IN THE LANDSCAPE YARDS SHALL BE MULCHED INCLUDING INTERIOR PARKING LOT ISLANDS UNDER 500 SQUARE FEET TO A DEPTH OF THREE (3) TO FOUR (4) INCHES AND MAINTAINED WEED FREE THEREAFTER.
4. EARTHEN BASINS ARE CONSTRUCTED AROUND THE SMALL PLANTS.
5. PLANTS, AS PERMITTED BY THIS ORDINANCE, ARE GROUPED TOGETHER WHERE POSSIBLE.
6. FOR ESTABLISHMENT AND SURVIVAL, PLANTS SHALL BE WATERED IN THE FIRST YEAR OF PLANTING.
7. WHENEVER PLANTING YARDS ARE ADJACENT TO PARKING LOTS OR DRIVES, THEY MUST BE PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS, OR FUELS.

PLANT LIST					
KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	
CANOPY TREES	AE	6	ULMUS AMERICANA	AMERICAN ELM	2" CAL / 10' HT. MIN.
	SM	3	ACER BARBATUM	SOUTHERN SUGAR MAPLE	2" CAL / 10' HT. MIN.
ADJACENT TREES	AM	4	ACER GINNALA	AMUR MAPLE	1 1/2" CAL / 8' HT.
NOTE - CALIPER MEASUREMENTS FOR ALL TREES SHALL BE TAKEN AT SIX INCHES ABOVE THE GROUND					
SHRUBS	RC	16	ABELIA	ROSE CREEK	3 GAL. / 4' HT.
	SD	13	ILEX VOMITORIA	SCHILLINGS DWARF	3 GAL. / 4' HT.
	CA	10	ABELIA CHINESES	CHINESE ABELIA	3 GAL. / 4' HT.
	WF	13	ABIES CONCOLOR	WHITE FIR	3 GAL. / 4' HT.

NOTE: THERE ARE EXISTING TREES ON PROPERTY.  
CAL - CALIPER SIZE  
GAL - GALLON

**...WATER WISE PLANTING TECHNIQUES...**

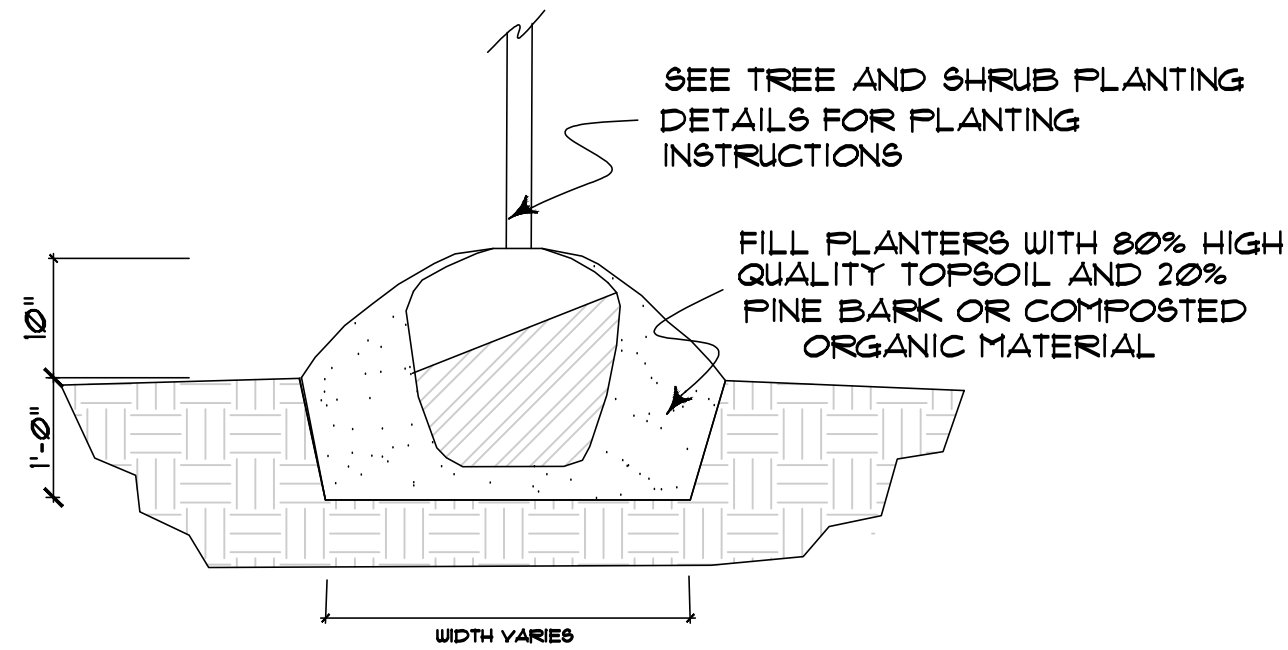
THE FOLLOWING SOIL PREPARATION TECHNIQUES SHALL BE USED FOR ALL REQUIRED LANDSCAPE AREAS:

- 1) SOIL PREPARATION FOR THE ENTIRE LANDSCAPE YARD INCLUDES THE ADDITION OF ORGANIC AMENDMENTS TILLED TO A DEPTH OF EIGHT (8) TO TWELVE (12) INCHES.
- 2) FOR BALL AND BURLAP TREES, REMOVE ALL TWINE, BURLAP AND WIRE BASKET FROM AROUND THE TRUNK AND THE TOP THIRD OF THE ROOT BALL.
- 3) ALL PLANTINGS IN THE LANDSCAPE YARDS SHALL BE MULCHED, INCLUDING INTERIOR PARKING LOT ISLANDS UNDER FIVE HUNDRED (500) SQUARE FEET, TO A DEPTH OF THREE (3) TO FOUR (4) INCHES AND MAINTAINED WEED FREE THEREAFTER.
- 4) EARTHEN BASINS (SAUCERS) ARE TO BE CONSTRUCTED AROUND THE INSTALLED PLANTS. (SEE DETAIL).
- 5) PLANTS, AS PERMITTED BY THIS ORDINANCE, ARE GROUPED TOGETHER WHERE POSSIBLE.
- 6) FOR ESTABLISHMENT AND SURVIVAL, PLANTS SHALL BE WATERED REGULARLY IN THE FIRST YEAR AFTER PLANTING.
- 7) WHENEVER PLANTING YARDS ARE ADJACENT TO PARKING LOTS OR DRIVES, THEY MUST PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS OR FUELS.

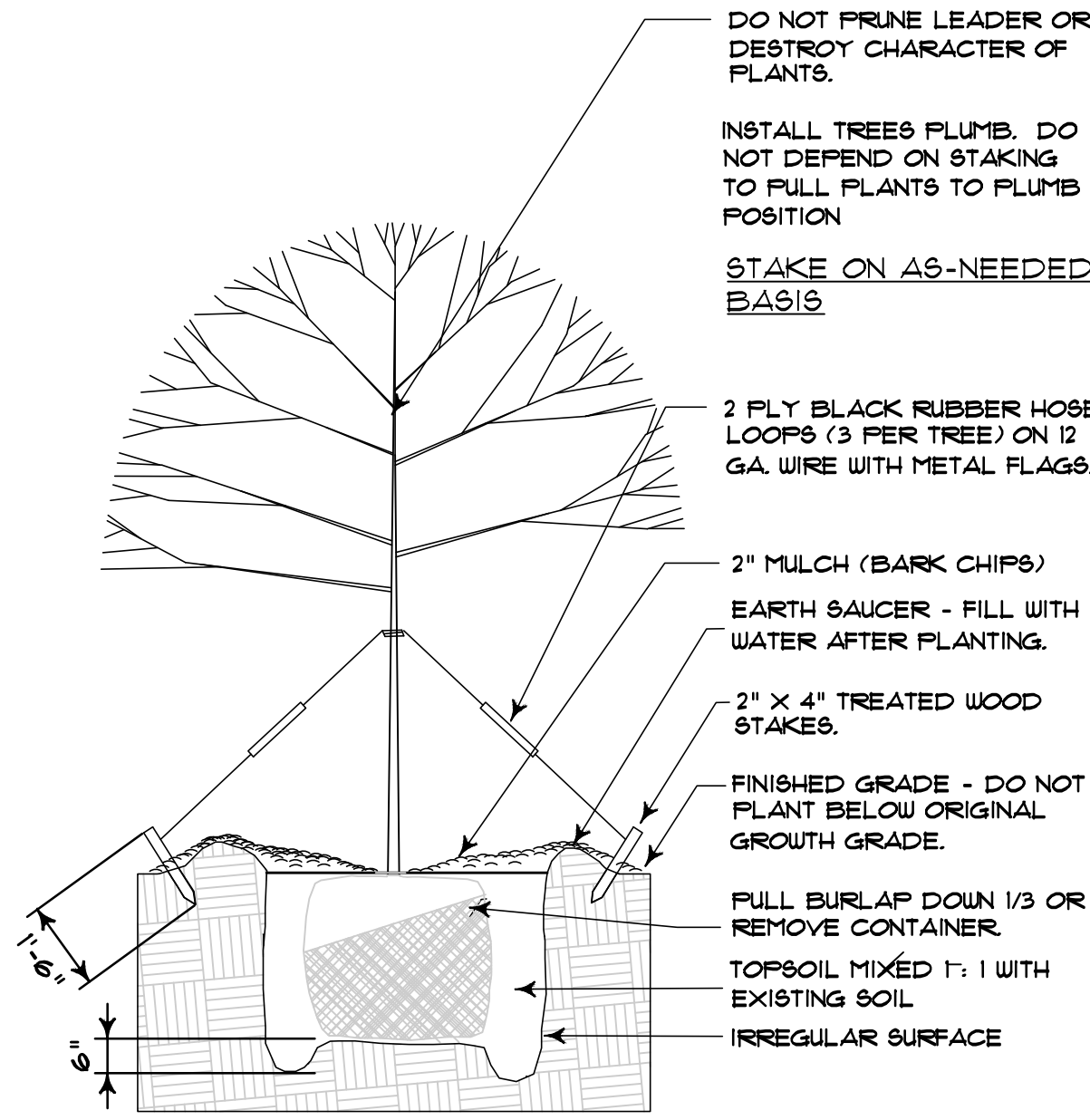
MOUND SOIL IN CENTER OF ISLAND TO 10" ABOVE TOP OF CURB ELEV.

REMOVE ALL COMPACTED SOIL, ROCKS, CONCRETE, AND CONSTRUCTION RUBBLE.

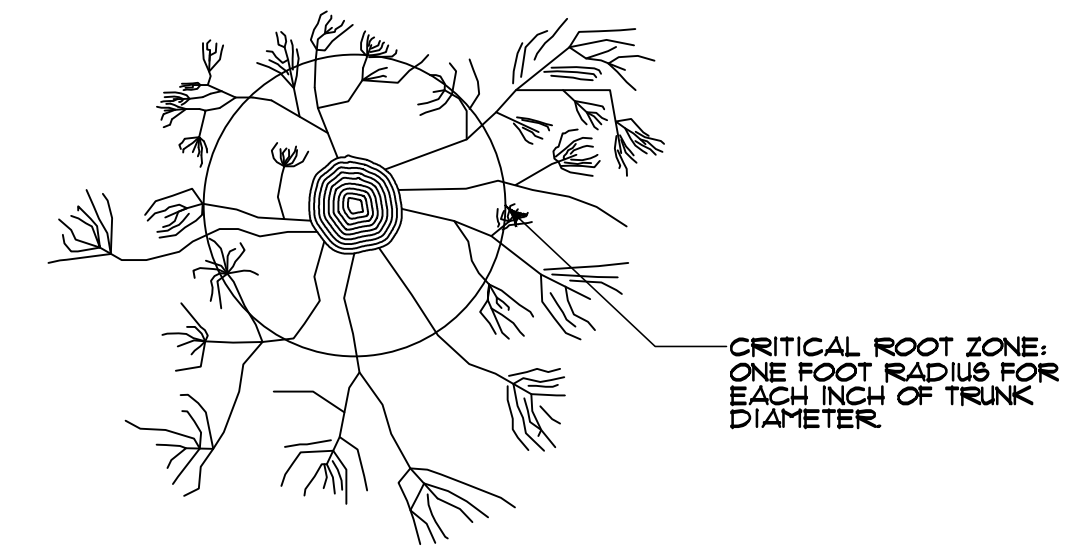
EXCAVATE TO 1' BELOW GRADE. SCARIFY SOIL AT EDGE OF HOLE



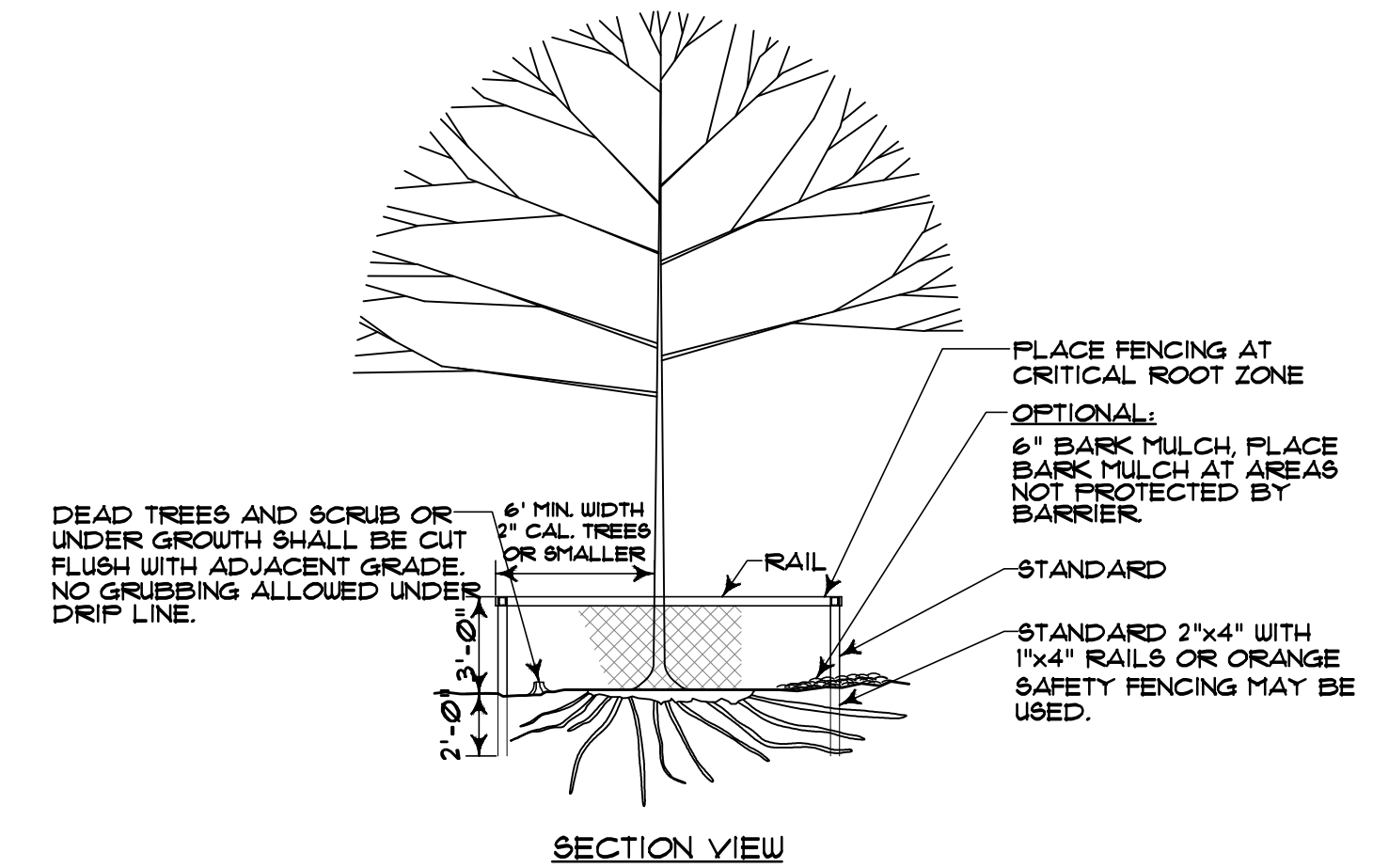
**TYPICAL TREE PLANTING ISLAND**  
SCALE: 1/2" = 1'-0"



**TREE PLANTING & GUYING DETAIL**  
NOT TO SCALE:



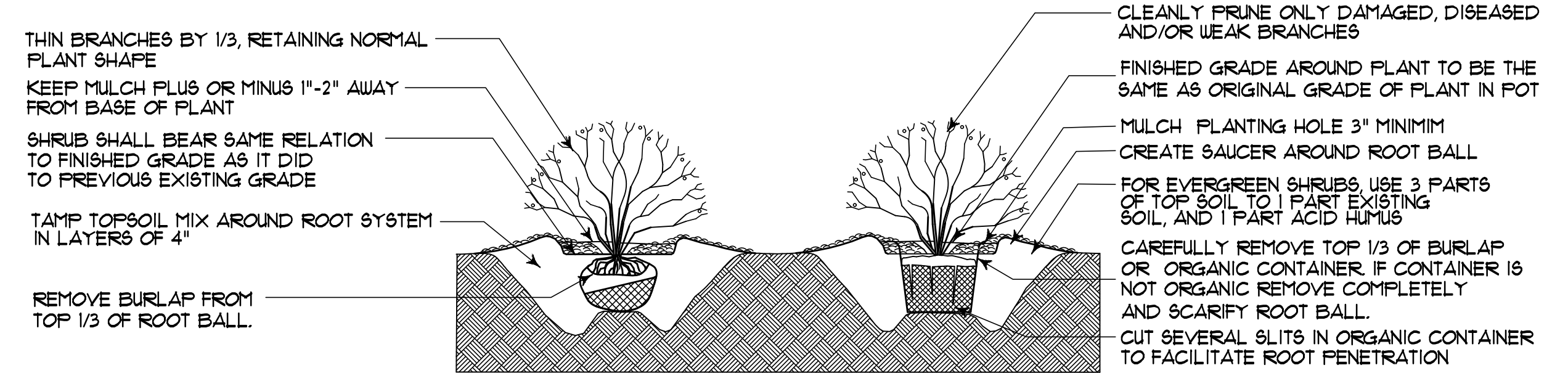
**PLAN VIEW OF CRITICAL ROOT ZONE**



**NOTES:**

1. SEE PLANS FOR LOCATION OF ALL TREE PROTECTION FENCES.
2. ALL TREE PROTECTION DEVICES MUST BE INSTALLED PRIOR TO LAND DISTURBANCE, INCLUDING THE CUTTING OF ANY TREES.
3. NO GRADING IS TO OCCUR IN THE TREE CONSERVATION AREAS OR TREE CRITICAL ROOT ZONES.
4. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.

**STANDARD TREE PROTECTION DETAIL**  
NOT TO SCALE:



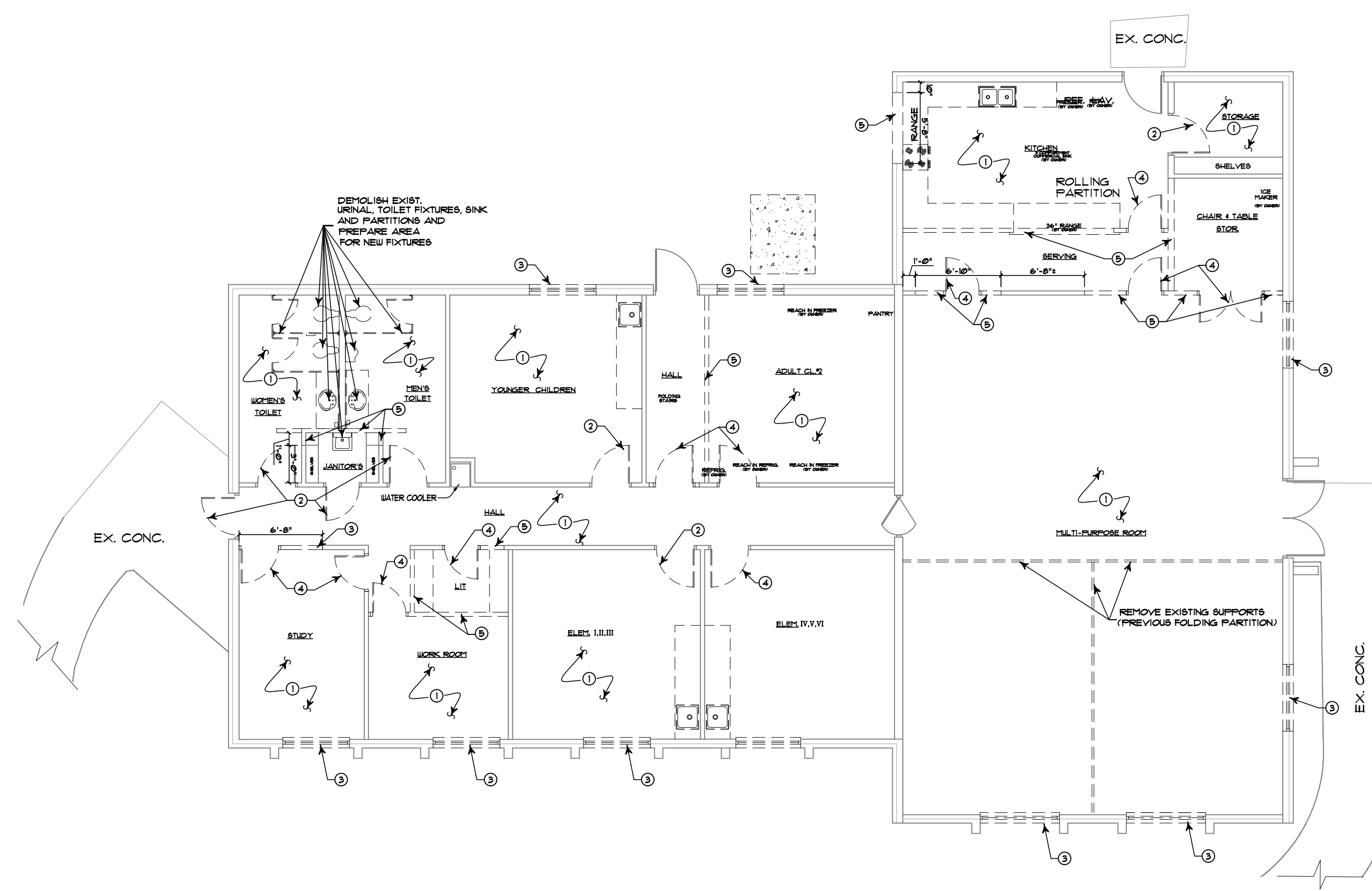
**NOTES:**

1. ALL PLANT MATERIALS TO BE WARRANTED FOR ONE YEAR WARRANTY PERIOD TO BEGIN AT TIME OF ACCEPTANCE BY OWNER'S REP.
2. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES BEFORE DIGGING.
3. PLANT QUANTITIES ON PLANT LIST ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. PLANTS SHALL BE SUPPLIED IN SUFFICIENT QUANTITY TO COMPLETE THE WORK AS SHOWN ON THIS PLAN.
4. ALL PLANTS TO CONFORM TO A.A.N. STANDARDS. SUBSTITUTIONS TO BE MADE ONLY WITH PERMISSION OF THE ARCHITECT.
5. SHRUB BEDS TO BE MOUNDED ±12" ABOVE SURROUNDING GRADE.
6. PLANTING FITS MINIMUM 25% DEEPEER THAN DEPTH OF ROOT BALL, 18" MINIMUM. PLANTING FIT WIDTH MINIMUM OF TWICE THE WIDTH OF ROOT BALL.
7. ALL PLANTS TO BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY DID TO CONTAINER OF FINISHED GRADE IN NURSERY.
8. IF EXISTING SOIL IN PLANT PIT IS HEAVY CLAY AND IT WILL NOT DRAIN PROPERLY, PLANT TREES OR SHRUBS APPROXIMATELY 3"-4" ABOVE SURROUNDING GRADE, FILL WITH WELL DRAINED SOIL MIX AROUND ROOTBALL. MULCH HEAVILY (4"-5"), AND WATER MORE FREQUENTLY THAN NORMAL FOR AT LEAST TWO(2) GROWING SEASONS.
9. FOR NEW PLANTING BED INSTALLATION, EXCAVATE SHRUB BED AS SHOWN ON PROJECT DRAWINGS.
10. WATER THOROUGHLY AFTER INSTALLATION.
11. THE REQUIRED LANDSCAPE PLANT MATERIAL MUST BE INSTALLED USING WATER WISE PLANTING TECHNIQUES AND INSPECTED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

**SHRUB BED PLANTING DETAIL**  
NOT TO SCALE:

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SHEET L-2 OF 2	

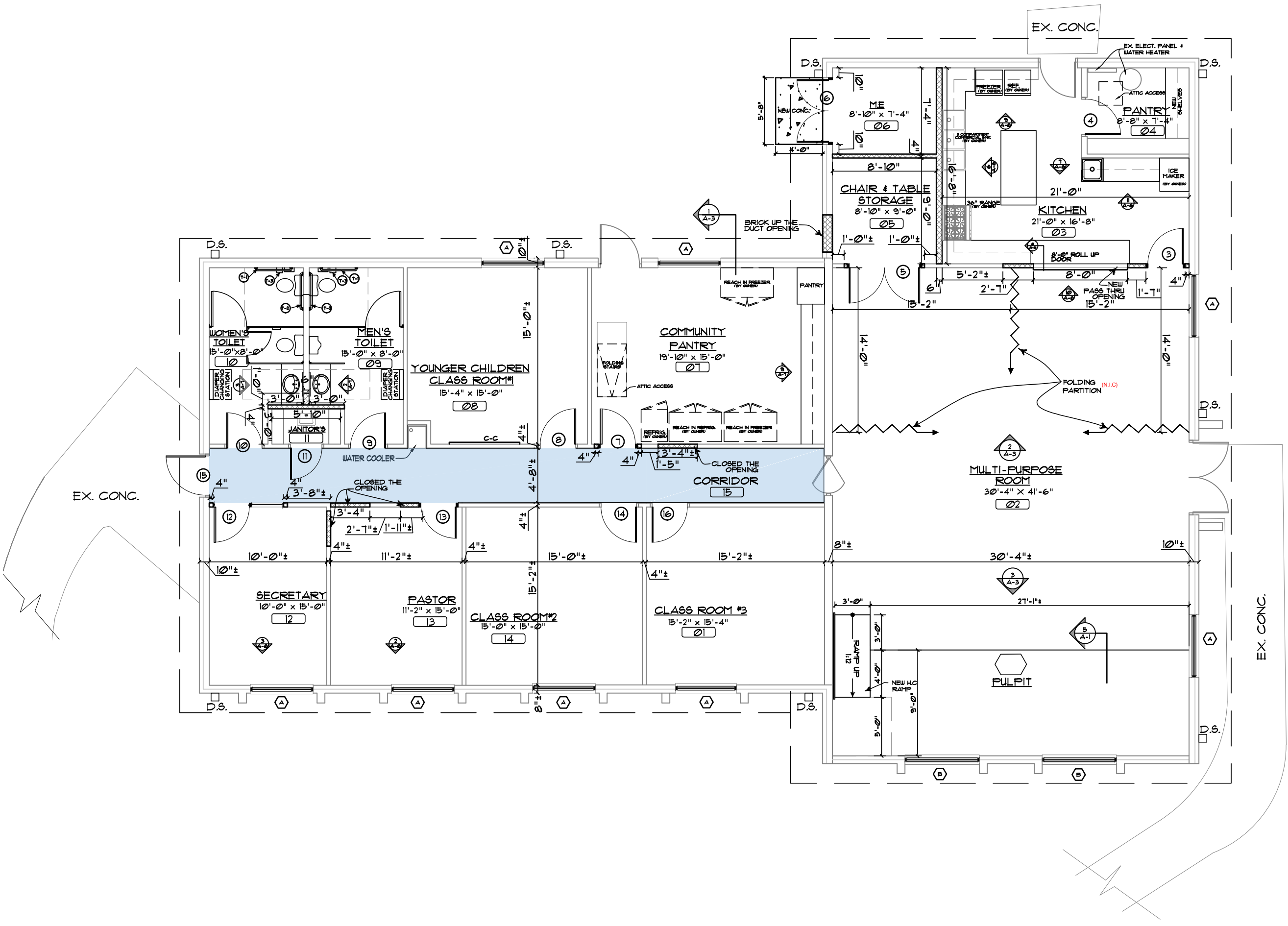
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1 EXISTING/DEMOLITION PLAN  
A-1 SCALE: 1/8" = 1'-0"

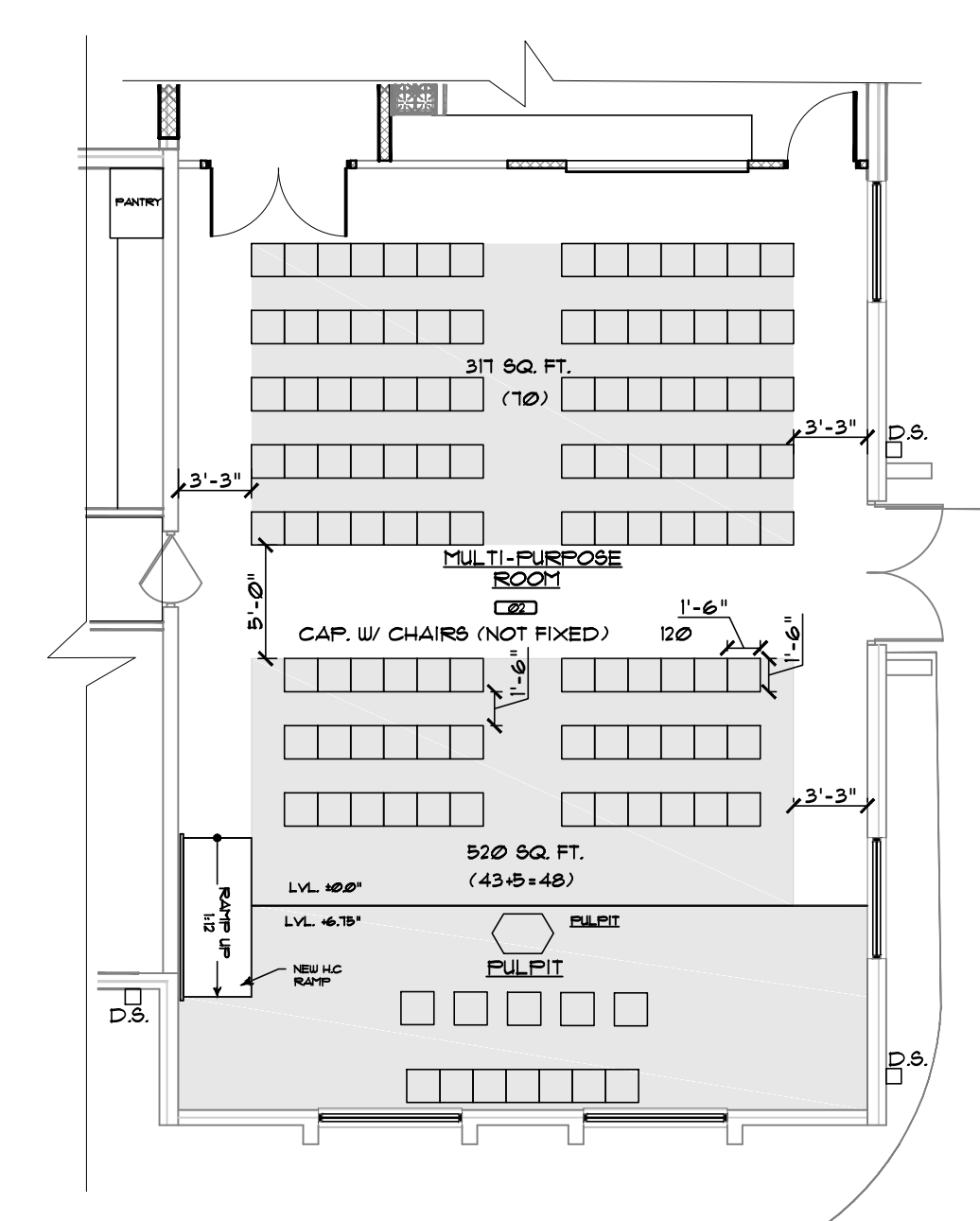
KEY TO FLOOR PLANS	
(Solid line)	EXISTING
(Dashed line)	DEMOLITION
(Line with arrow)	REMOVE EXIST. DOOR
(Line with arrow)	REMOVE EXIST. WINDOW

- DEMOLITION KEY NOTES**
1. REMOVE EXISTING FLOORS AND BASE AND PREPARE AREA FOR NEW FLOORING AND BASE
  2. REMOVE EXISTING DOORS AND PREPARE AREA FOR NEW DOORS
  3. REMOVE EXISTING WINDOW AND PREPARE AREA FOR NEW WINDOW
  4. REMOVE EXISTING DOORS AND FRAMES
  5. DEMOLISH EXISTING WALL AND PREPARE AREA FOR NEW OPENING
  6. DEMOLISH EXISTING WINDOW
  8. REMOVE ALL EXISTING FASCIA BOARDS, SOFFITS, ETC.
  9. CONTRACTOR SHALL ENGAGE A SMOKE RESTORATION SERVICE TO CLEAN BUILDING OF SMOKE ODOR. (TREAT ALL EXISTING WOOD SCHEDULED TO REMAIN)



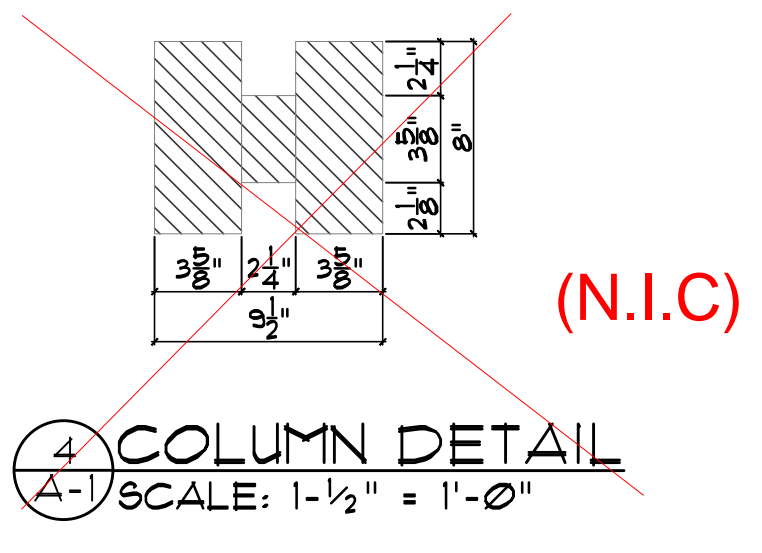
2 PROPOSED FLOOR PLAN  
A-1 SCALE: 1/8" = 1'-0"

NOTE:-  
PLEASE REFER TO SHEET A-8 FOR THE FINISH SCHEDULE AND DETAILS

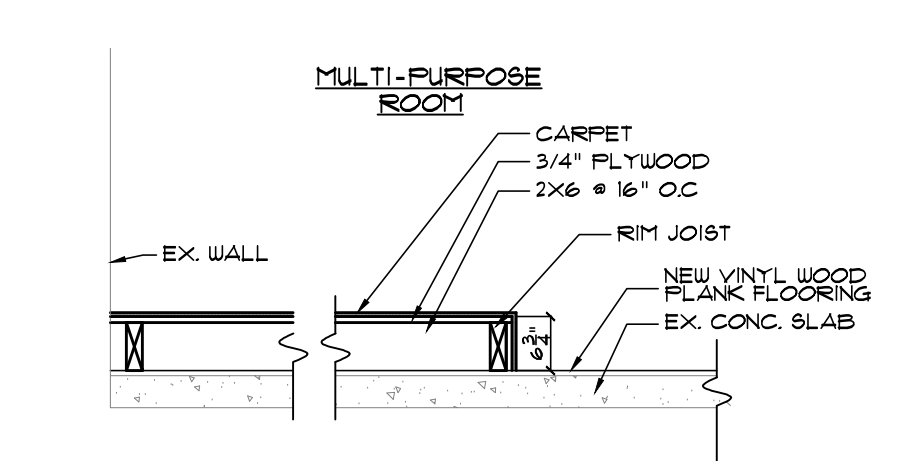


NOTE:-  
CHAIRS, PULPIT FURNITURE BY OWNER

3 PROPOSED CHAIRS LAYOUT AT MULTI-PURPOSE ROOM  
A-1 SCALE: 1/8" = 1'-0"



4 COLUMN DETAIL  
A-1 SCALE: 1-1/2" = 1'-0"



5 DETAIL OF PLATFORM  
A-1 SCALE: 1/2" = 1'-0"

NOTE:-  
CONTRACTOR SHALL INSTALL PLATFORM (PULPIT AREA) OVER NEW INSTALL VINYL WOOD PLANK FLOORING. PLATFORM SHALL BE INSTALLED INDEPENDENTLY FROM FLOOR AND WALLS TO ALLOW TO BE REMOVED IN FUTURE WITH MIN. DAMAGE TO WALLS AND FLOOR.

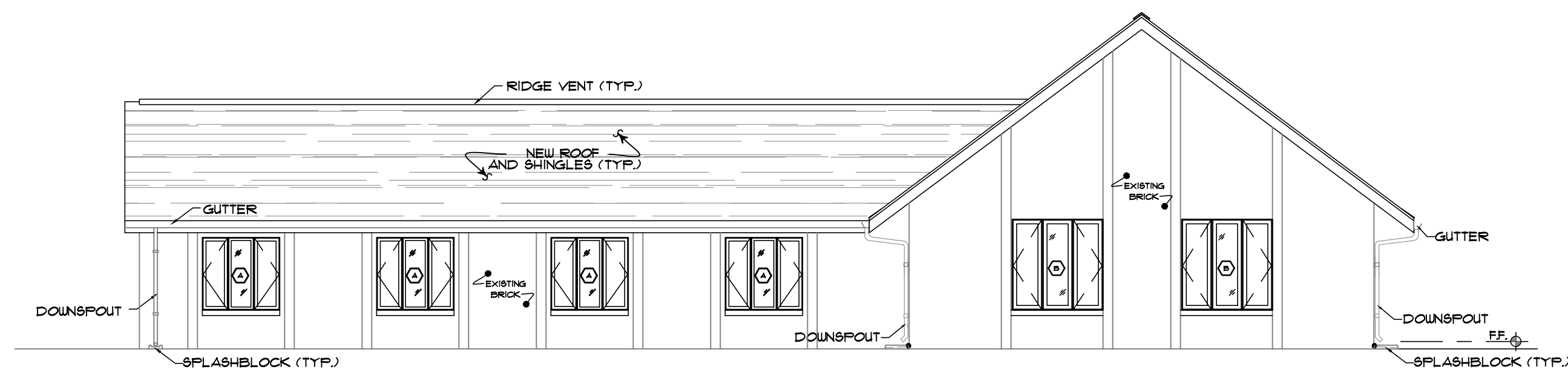
EXISTING / DEMOLITION PLAN  
PROPOSED FLOOR PLAN  
PROPOSED CHAIRS LAYOUT AND DETAILS

KEY TO FLOOR PLAN	
(Solid line)	EXISTING CONSTRUCTION
(Dashed line)	NEW CONSTRUCTION
(Hatched area)	NEW CONCRETE
(Line with arrow)	1 HOUR FIRE RATED CORRIDOR WALL
(Line with arrow)	NEW WINDOW
(Line with arrow)	NEW DOOR
(Circle with number)	TYPICAL ROOM NUMBER
(Circle with number)	TYPICAL DOOR NUMBER
(Line with arrow)	SECTION TAG
(Line with arrow)	REVISION TAG

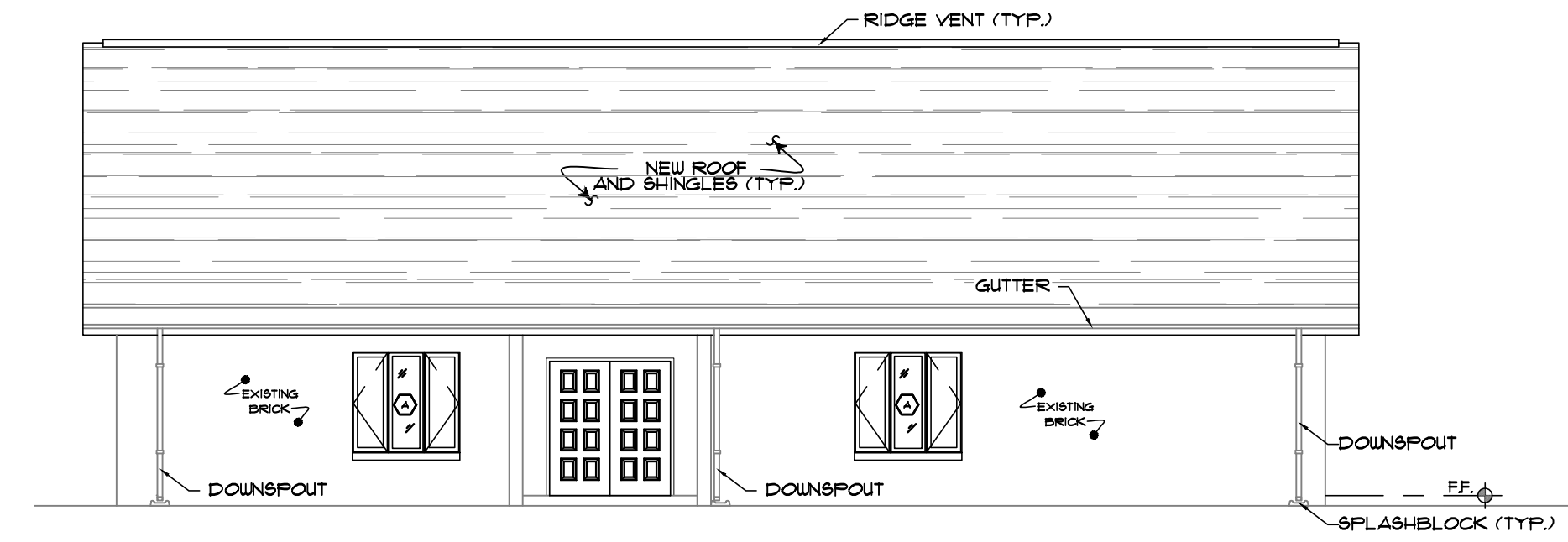
LINTEL SCHEDULE	
1	LINTEL #1 (NEW OPENING #1) 1. 6"x3"x9/16" L.V. - 8" BEARING
2	LINTEL #2 (NEW OPENING #2) 2. (2x2) BOLTED # 2"-0" O.C. - 1" BEARING

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SHEET <b>A-1</b> OF 8			

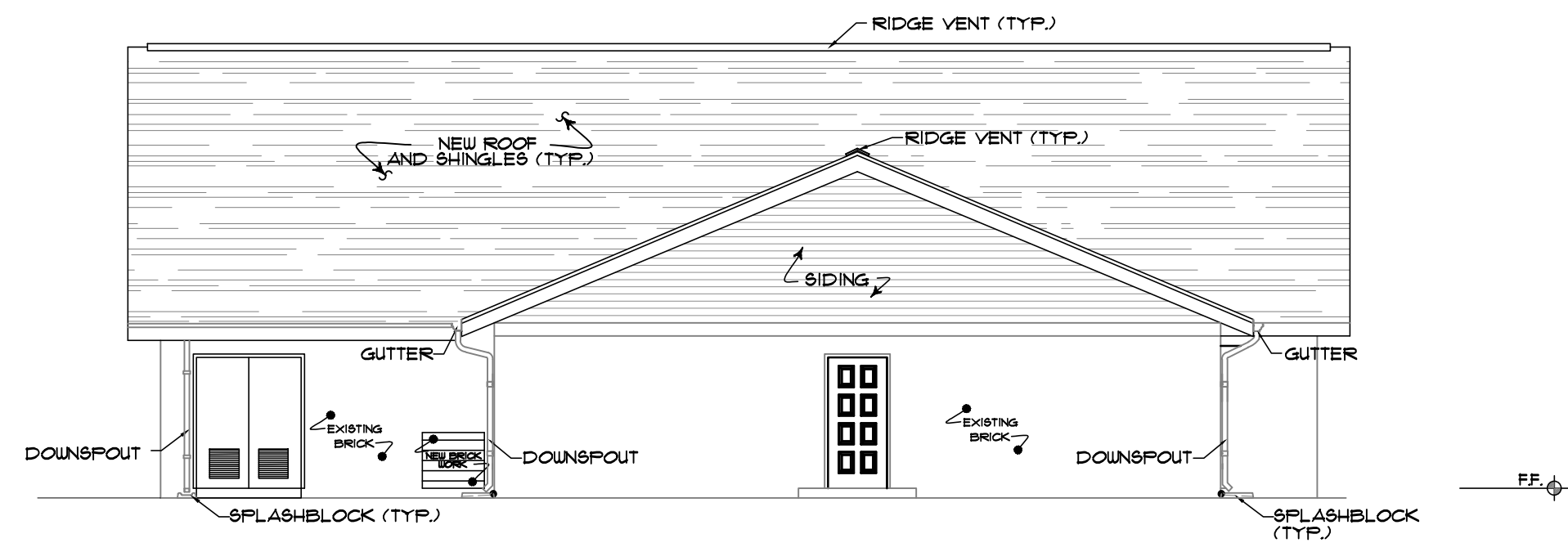
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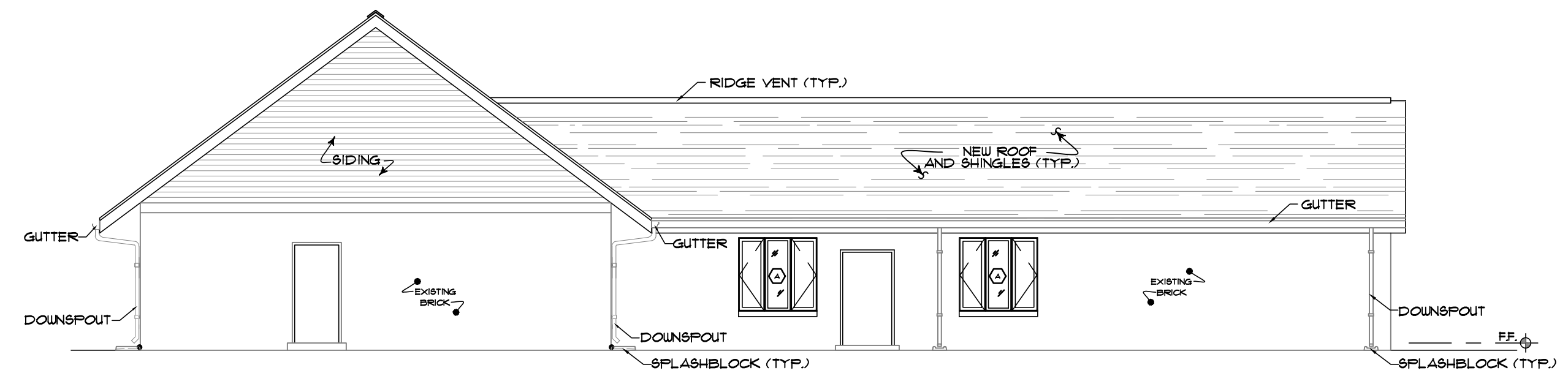
1 PROPOSED FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



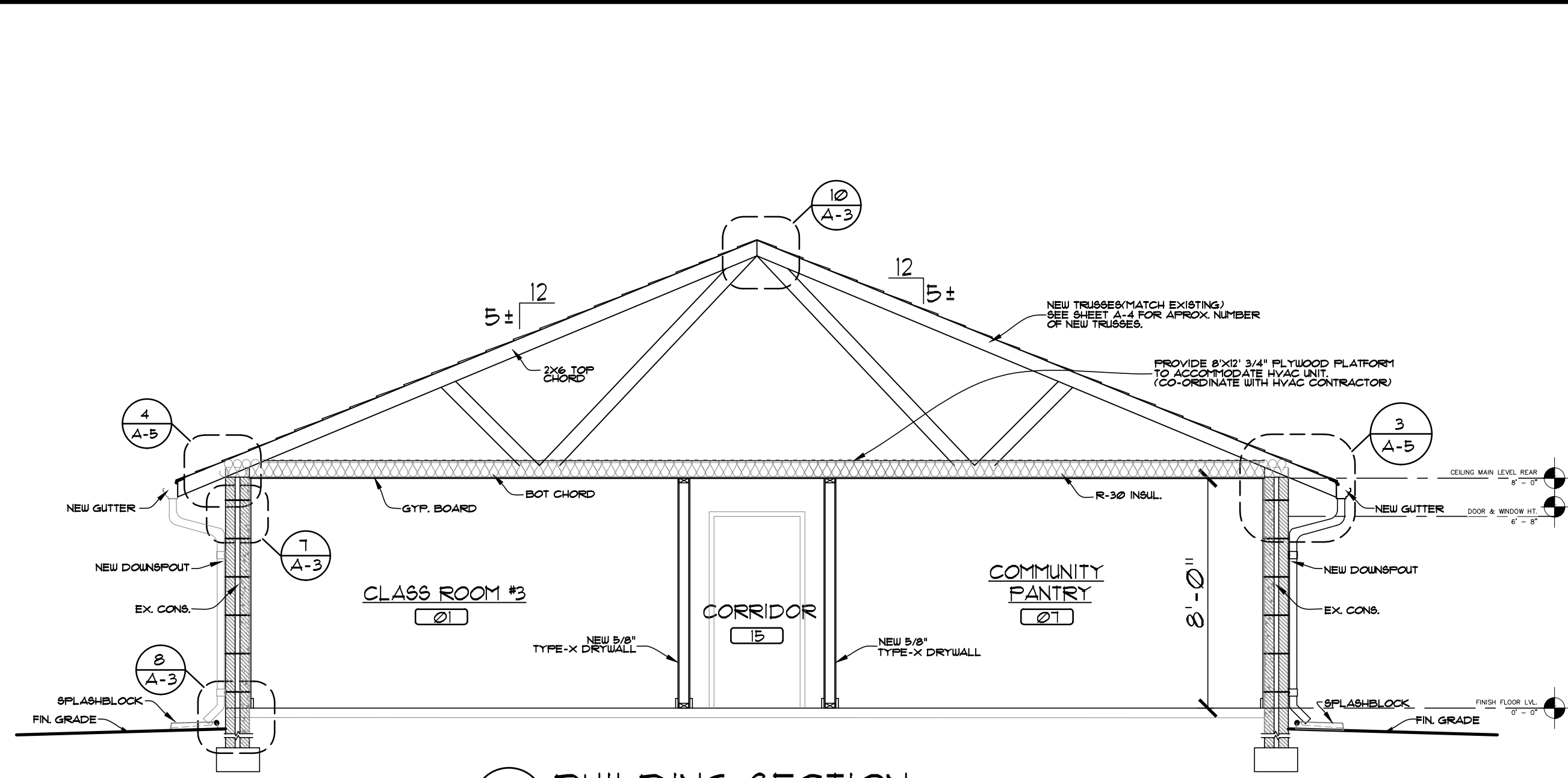
3 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



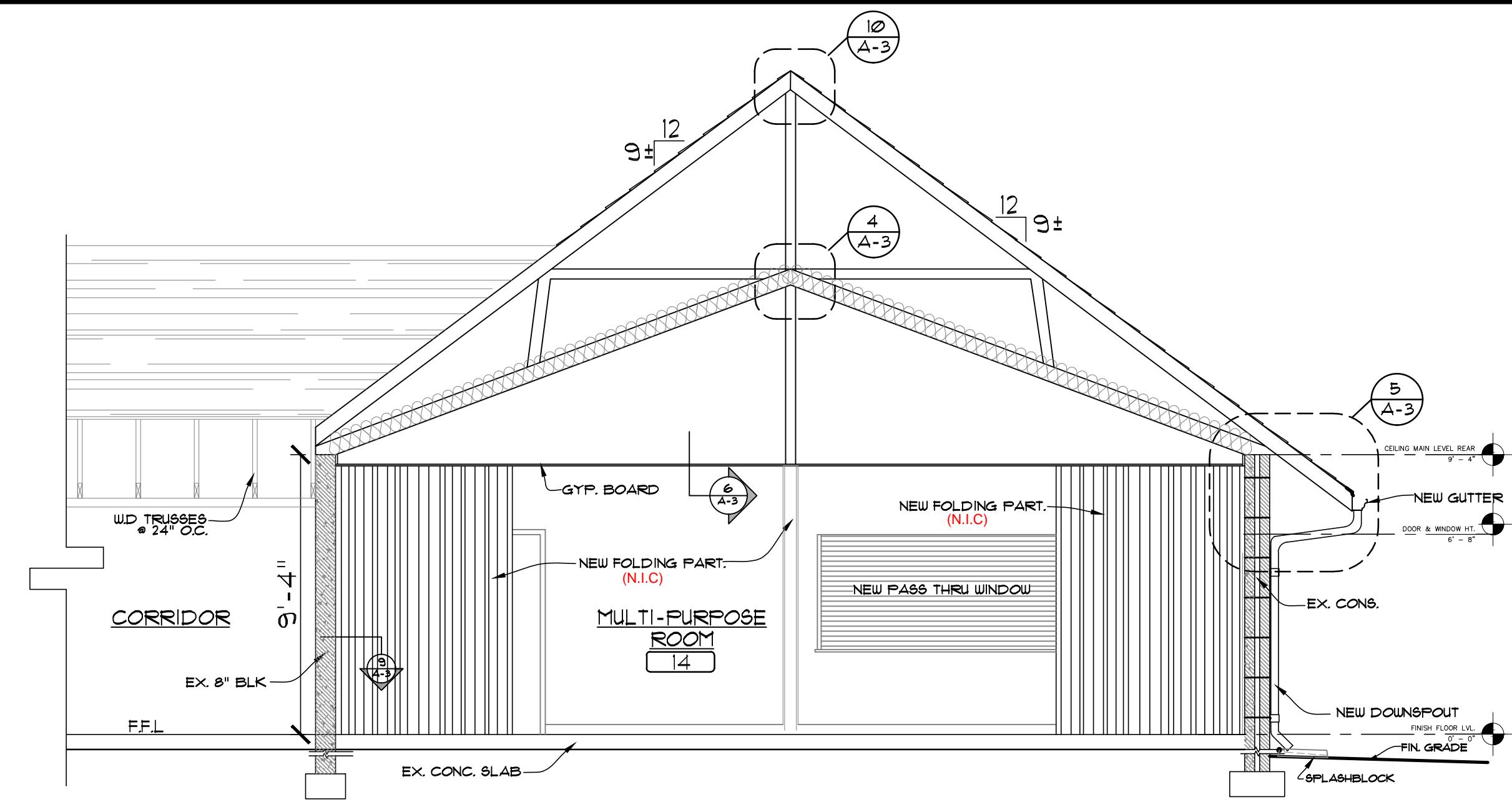
4 REAR ELEVATION  
SCALE: 1/8" = 1'-0"

NOTE:-  
SPLASHBLOCK (TYPICAL AT ALL DOWNSPOUT)

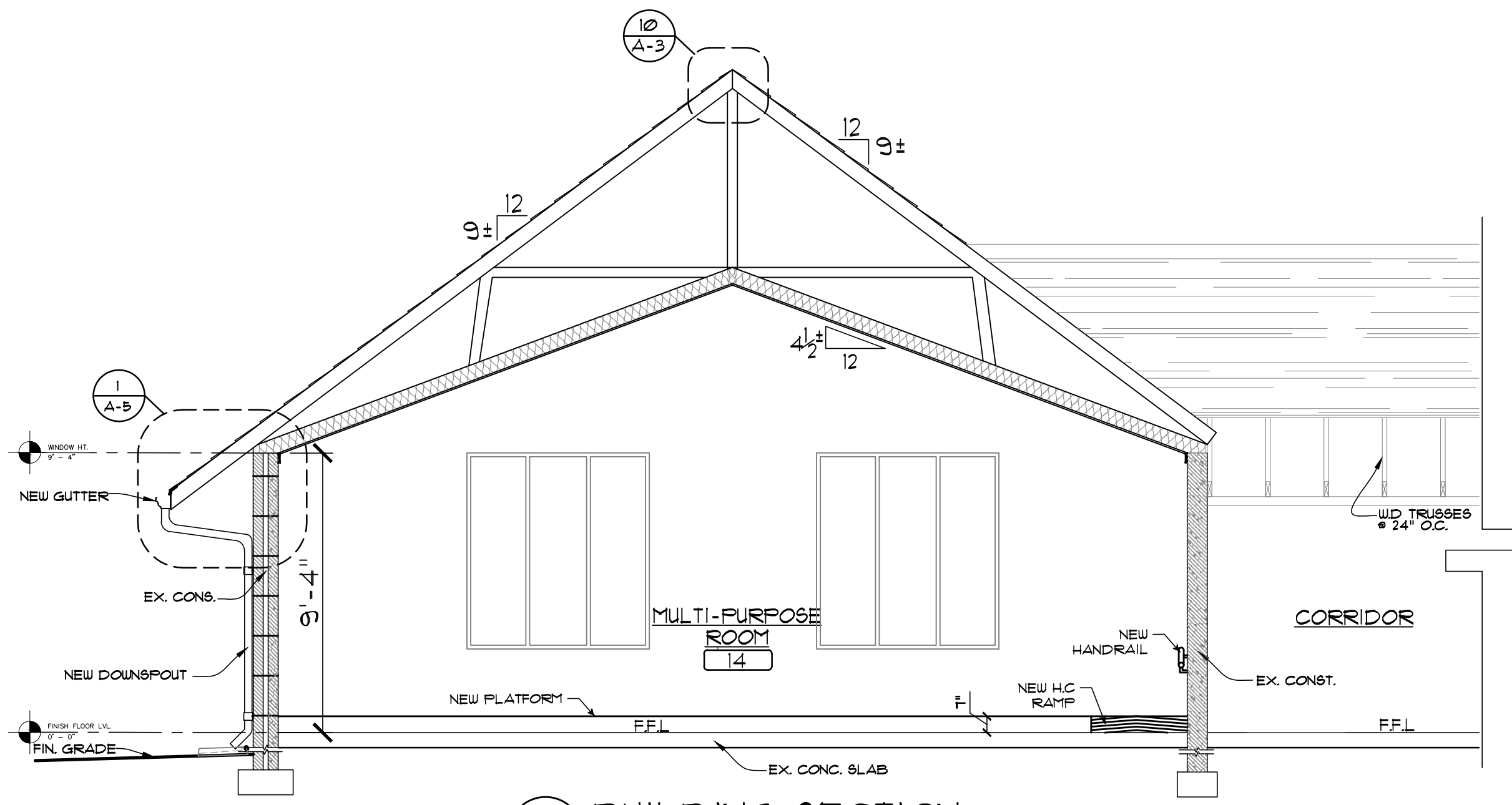
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SHEET <b>A-2</b> OF 8							



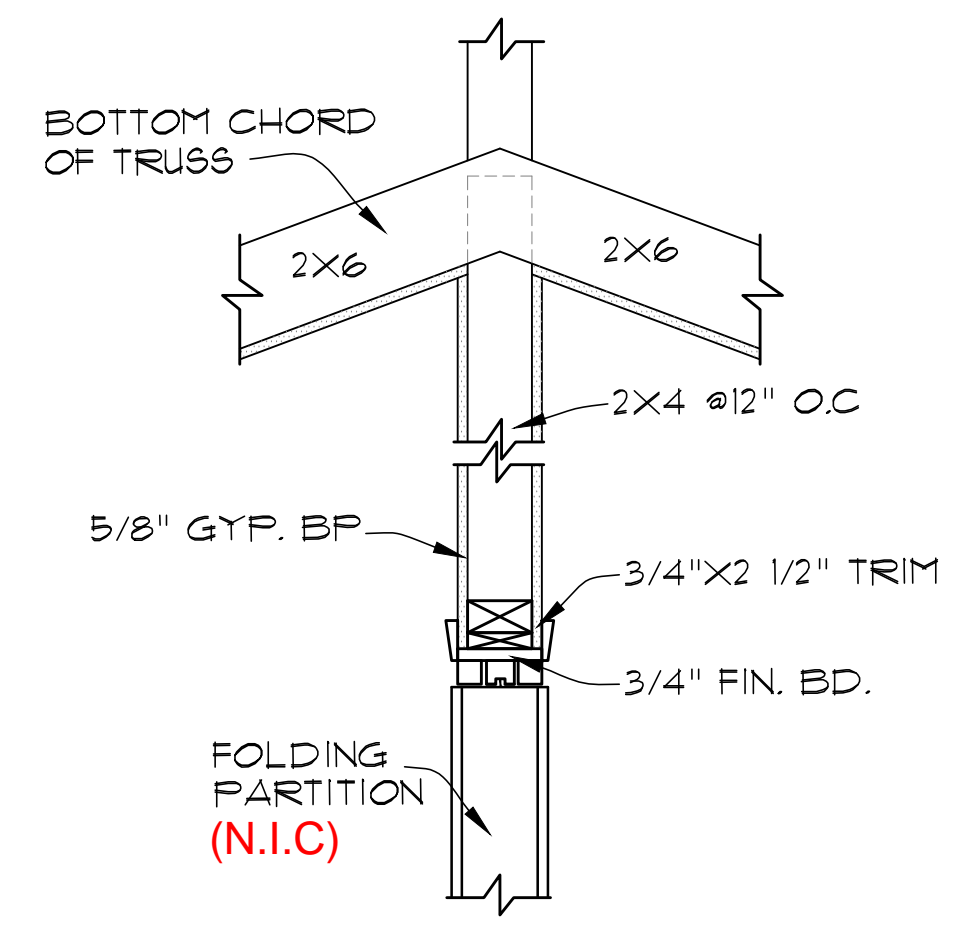
1 BUILDING SECTION  
A-3 SCALE: 1/4" = 1'-0"



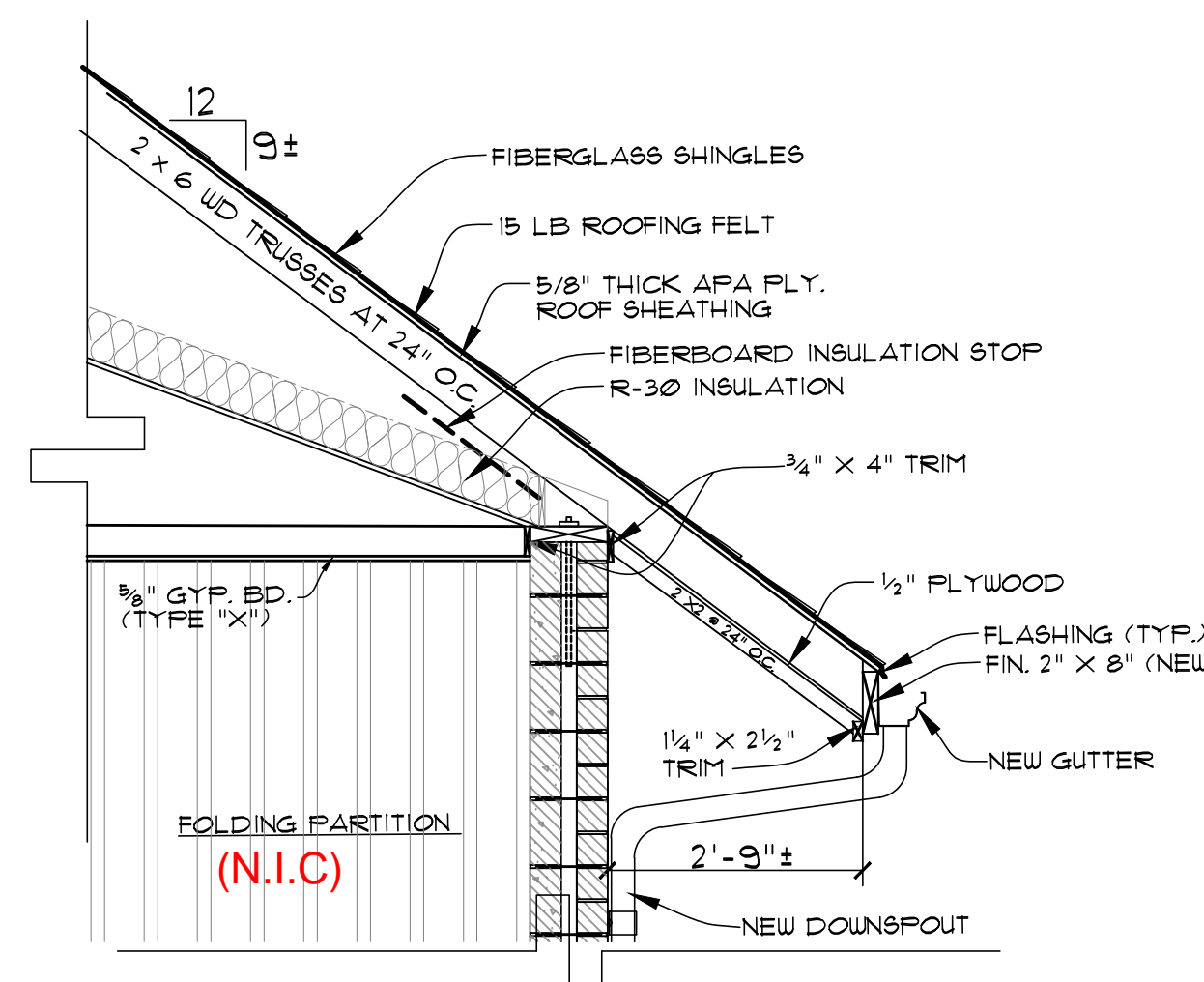
2 BUILDING SECTION  
A-3 SCALE: 1/4" = 1'-0"



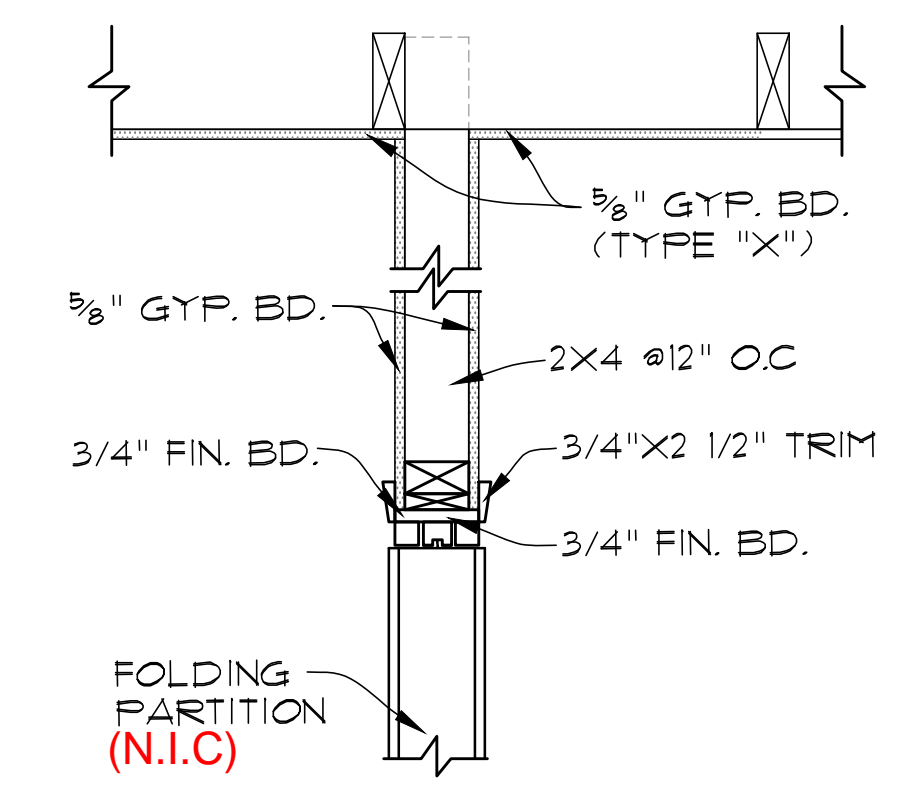
3 BUILDING SECTION  
A-3 SCALE: 1/4" = 1'-0"



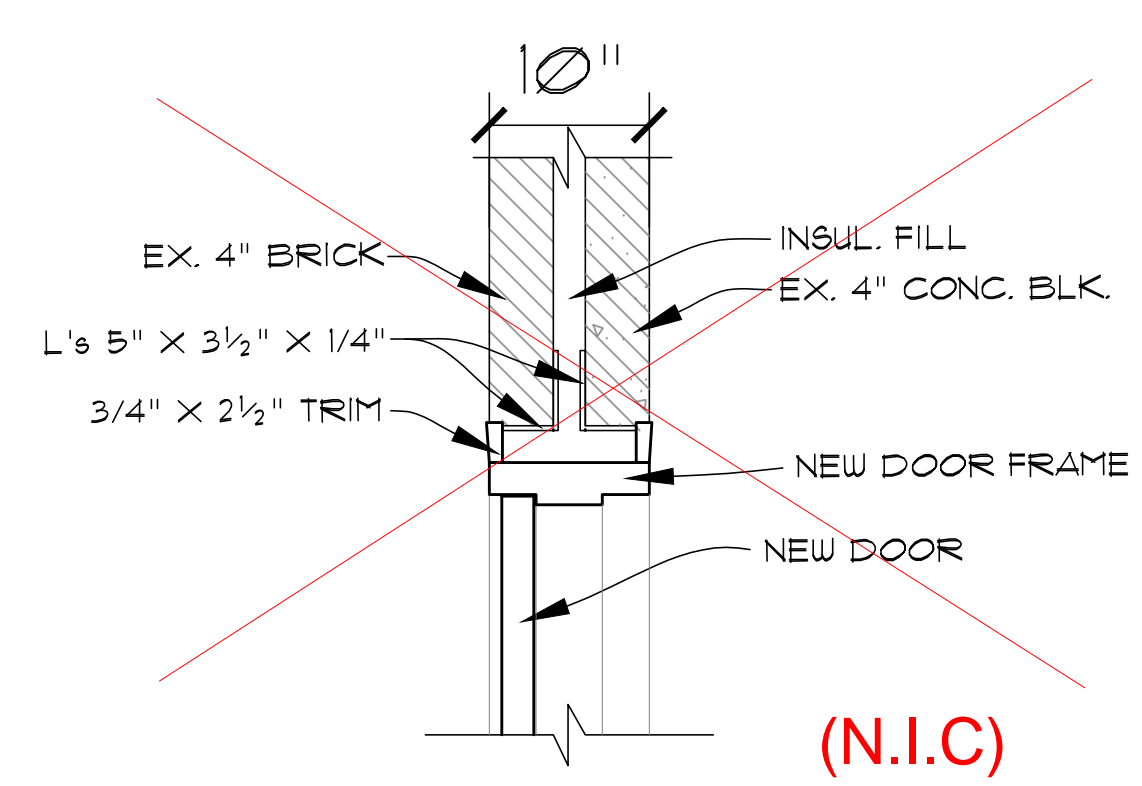
4 DETAIL  
A-3 SCALE: 1" = 1'-0"



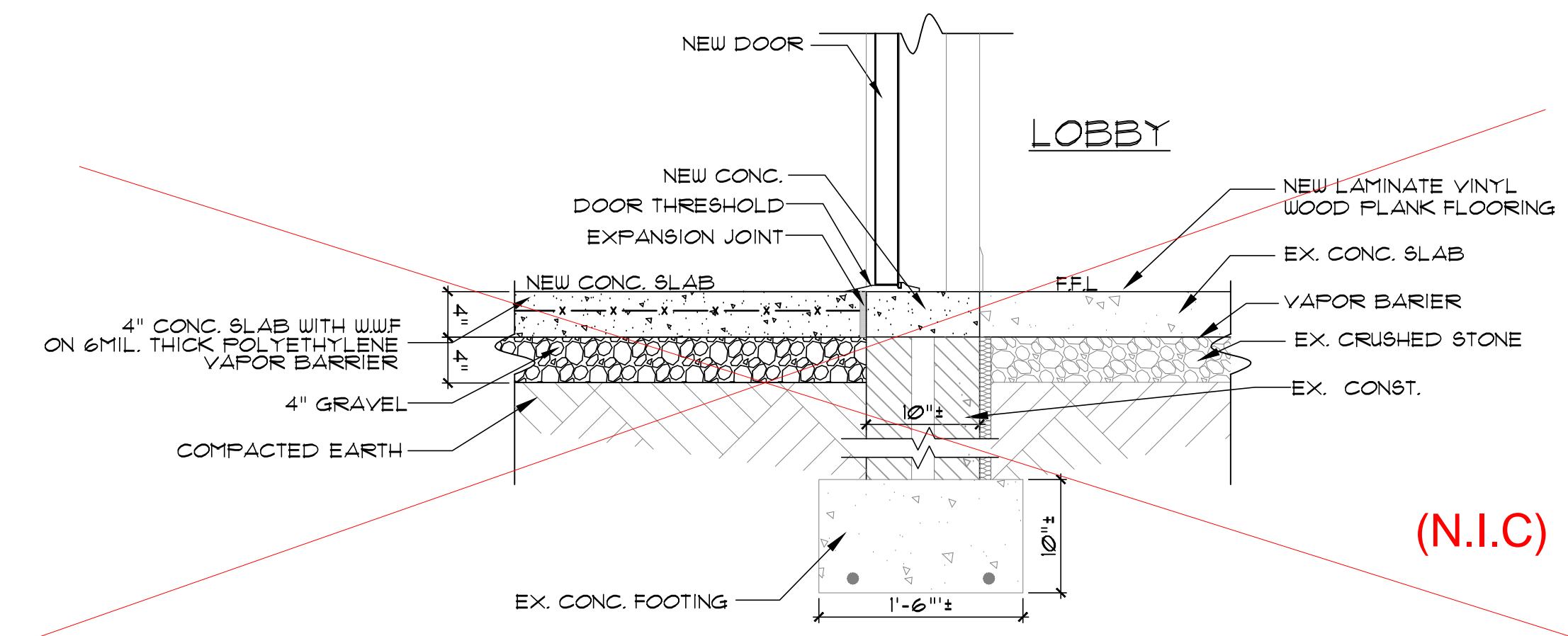
5 DETAIL  
A-3 SCALE: 1/2" = 1'-0"



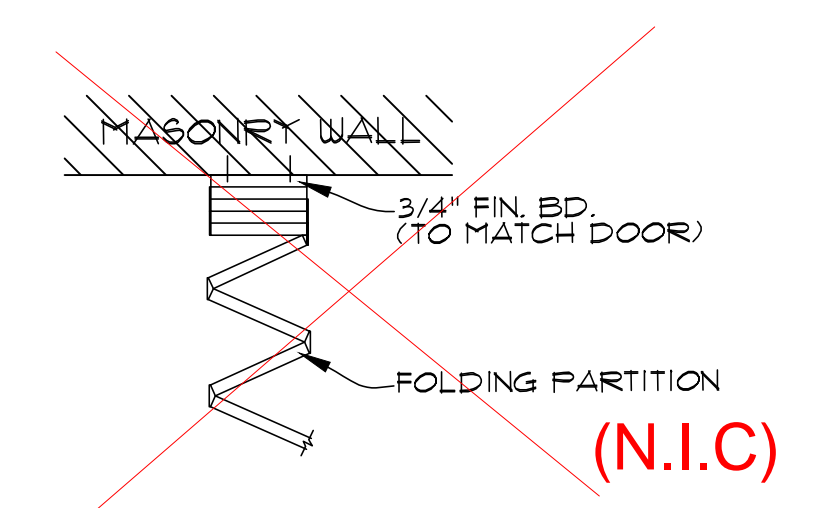
6 DETAIL  
A-3 SCALE: 1" = 1'-0"



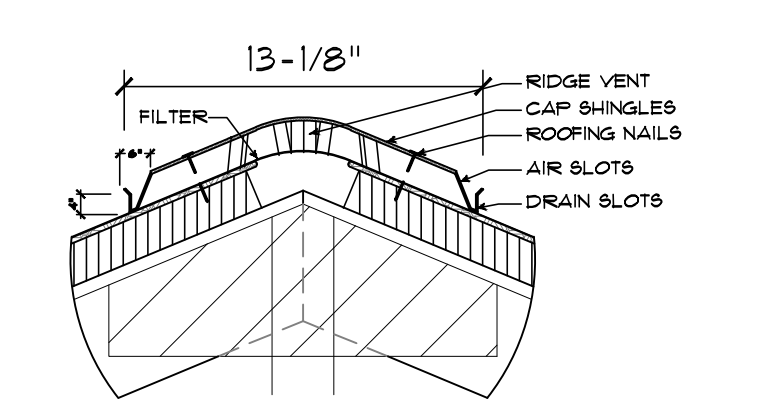
7 DETAIL (N.I.C.)  
A-3 SCALE: 1" = 1'-0"



8 DETAIL (N.I.C.)  
A-3 SCALE: 1" = 1'-0"



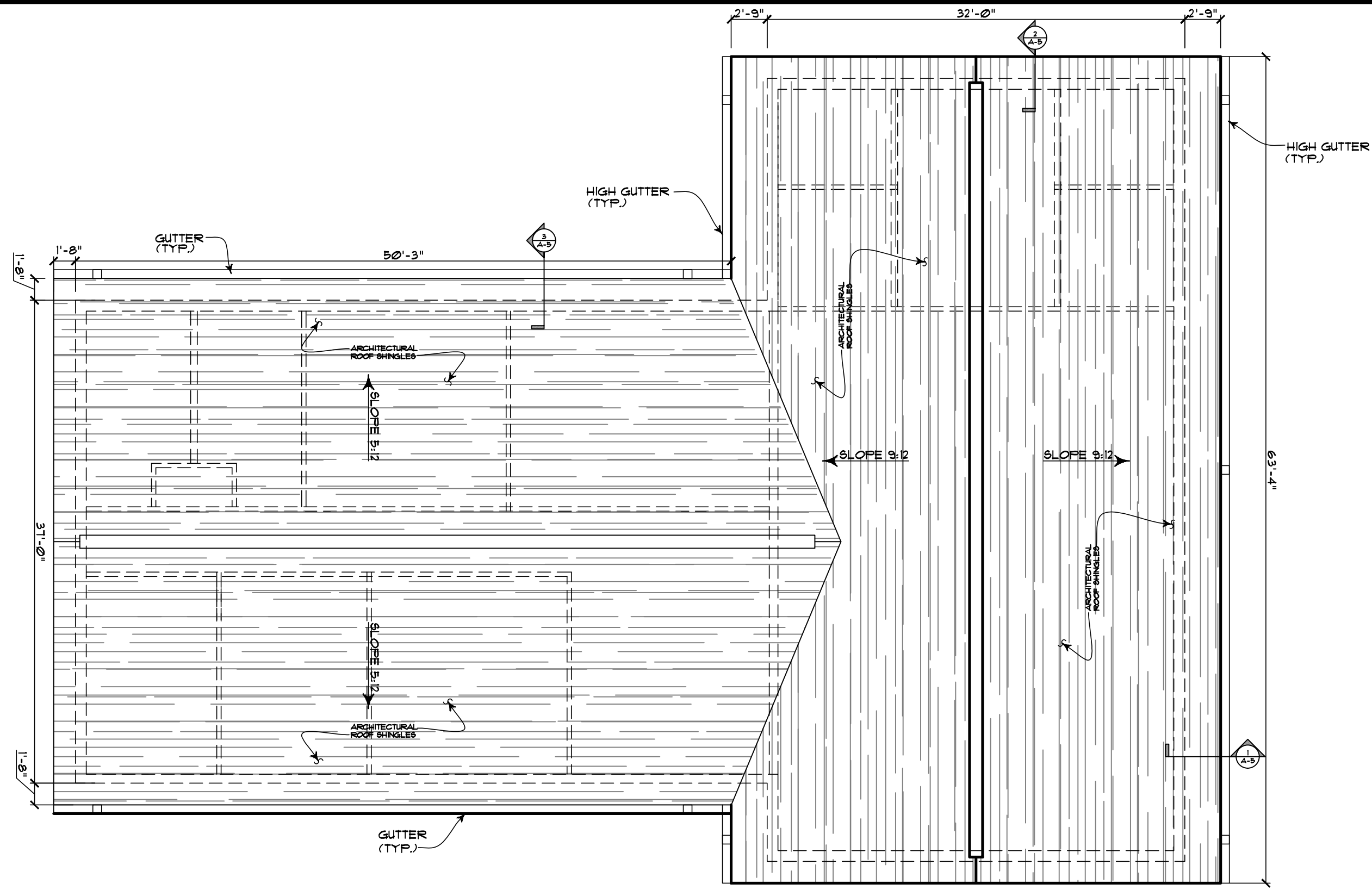
9 ENLARGED DETAIL (N.I.C.)  
A-3 SCALE: 1" = 1'-0"



10 RIDGE VENT  
A-3 SCALE: 1" = 1'-0"

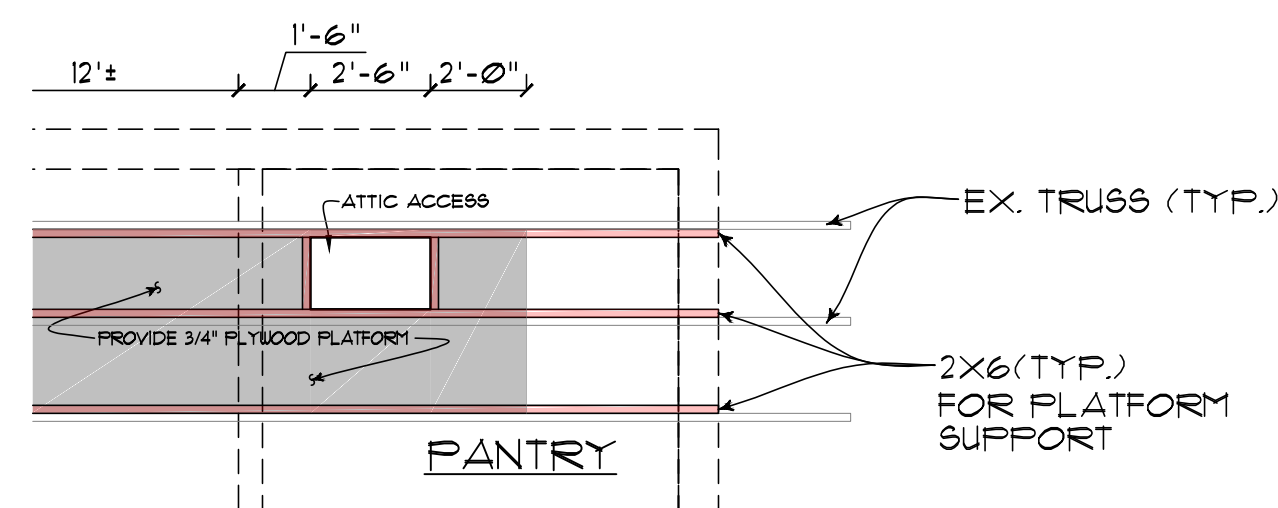
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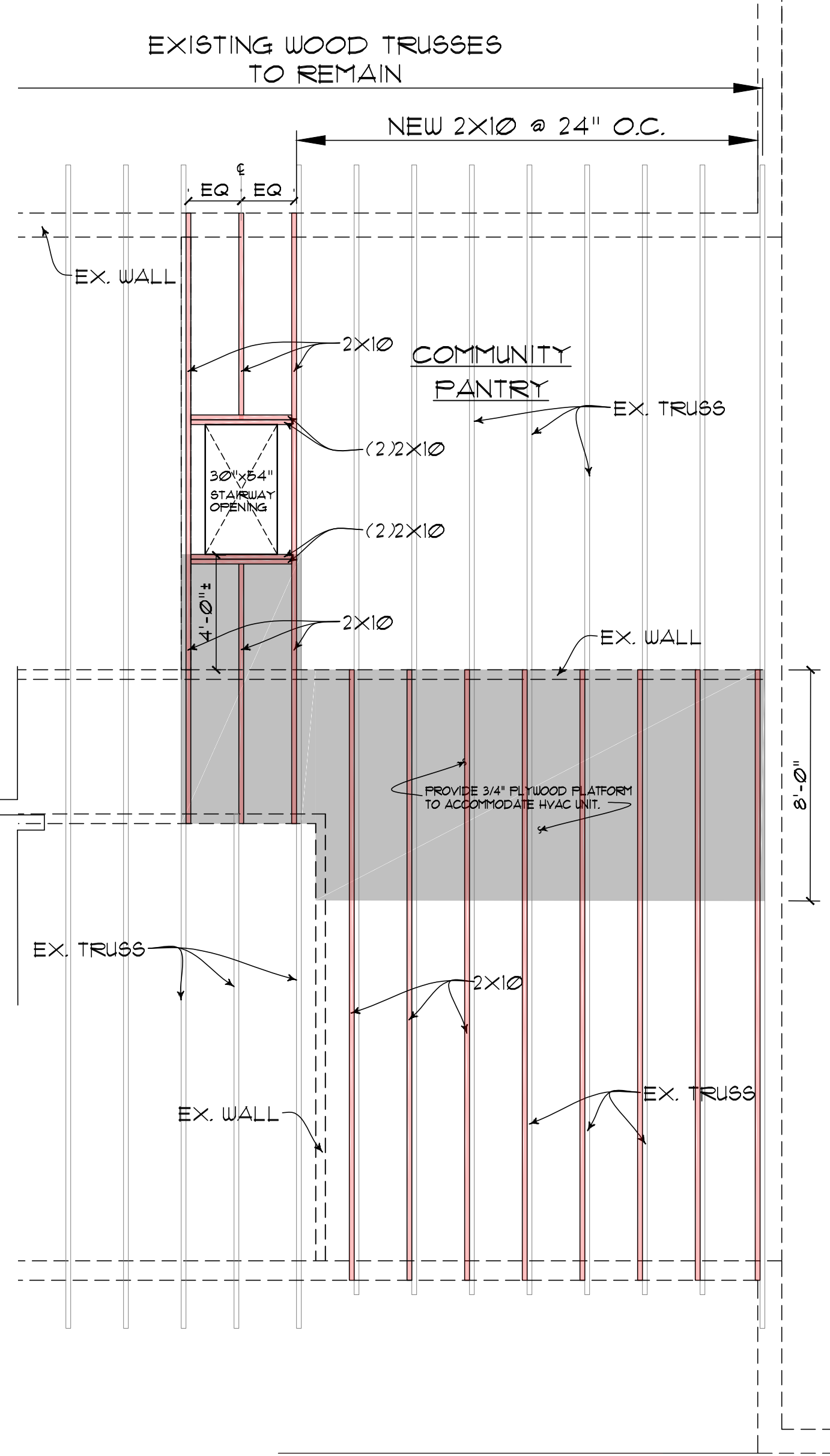


**1 ROOF PLAN**  
A-4 / SCALE: 1/8" = 1'-0"

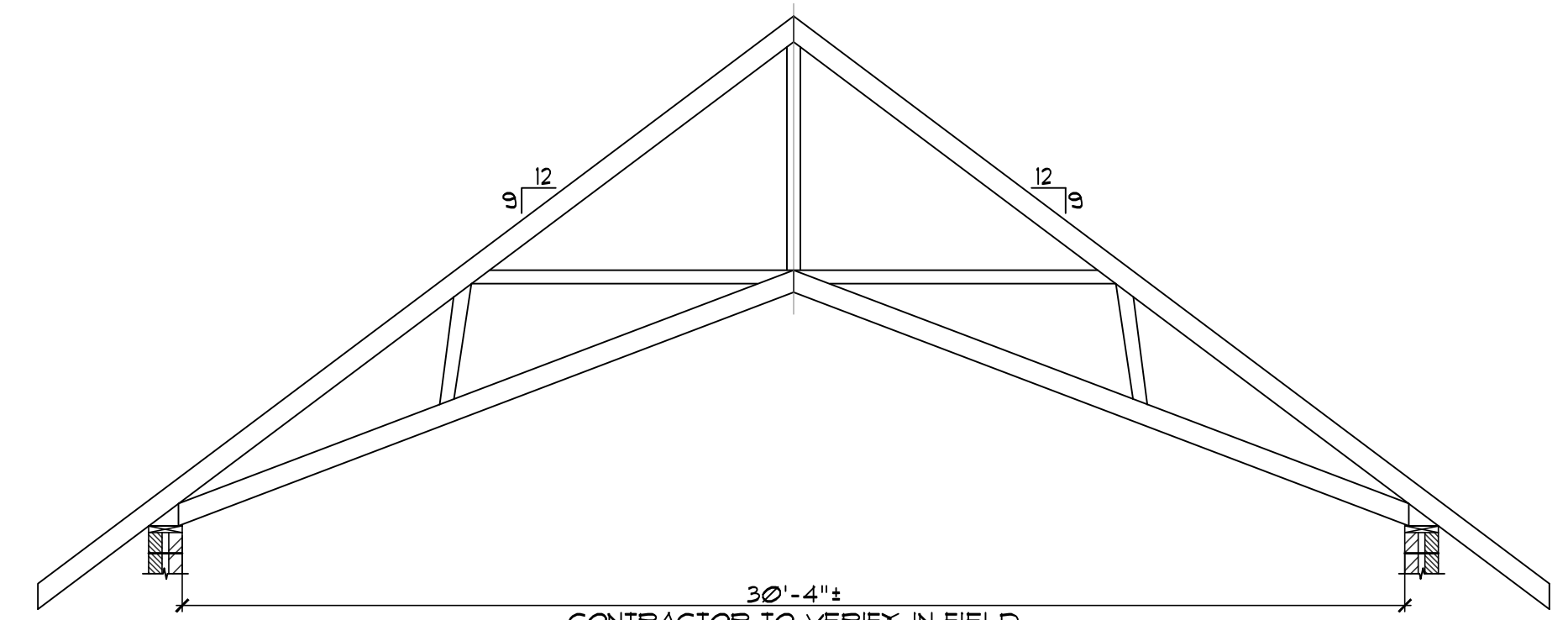
- GENERAL NOTES:
1. ROOF PITCH OF MULTI-PURPOSE AREA IS 9:12±.
  2. ROOF PITCH OF CLASSROOMS AND OFFICE AREA IS 9:12± (MATCH EXISTING).
  3. MANUFACTURE'S TRUSS LAYOUT TO BE ON SITE FOR FRAME INSPECTIONS.
  4. ALL TRUSSES TO BE PRE-ENGINEERED AND CARRY MANUFACTURE'S STAMP.
  5. ALL TRUSSES SHALL BE INSTALLED AND BRACED TO MANUFACTURE'S SPECIFICATIONS.



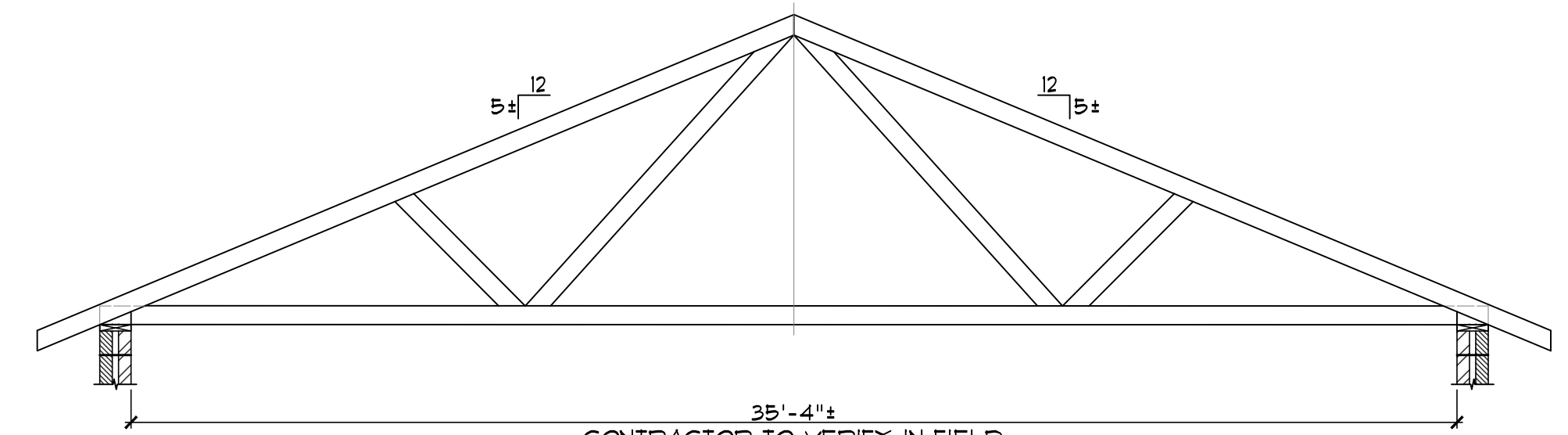
**3 ATTIC ACCESS IN PANTRY**  
A-4 / SCALE: 1/4" = 1'-0"



**4 ROOF FRAMING PLAN SHOWING STAIRCASE OPENING IN COMMUNITY PANTRY**  
A-4 / SCALE: 1/4" = 1'-0"

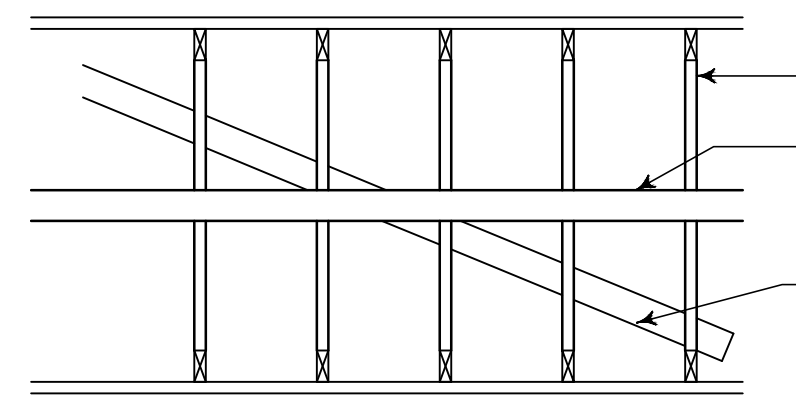


**5 TRUSS T-1 (EXISTING)**  
A-4 / SCALE: 1/4" = 1'-0"



**6 TRUSS T-2 (EXISTING AND NEW TRUSSES)**  
A-4 / SCALE: 1/4" = 1'-0"

NOTE: - NEW TRUSSES TO MATCH THE EXISTING



**TYP. TRUSS DIAGONAL BRACING DETAIL**  
NOT TO SCALE

NOTE: Spacing of diagonal bracing shall not exceed 30 feet.  
A. Submit shop drawing for approval by Architect/Engineer prior to fabrication of wood trusses. Prepare and submit in accordance with requirements as set forth in general conditions section. All truss designs shall bear the site and seal of a professional engineer licensed to practice in North Carolina and shall include the following information: pitch, span, dimension and spacing of truss, truss bearing sizes and location, design loading of truss and allowable stress increase, axial forces in each truss member, panel size and location of connector plates at all joints, size, species and grade of lumber for all truss members, camber, permanent lateral bracing required by design to reduce the buckling length of individual truss members and handling and erection recommendations. Wood trusses shall be designed for all dead and superimposed loads to which they may be subjected, including dead and live loads, and other loads such as HVAC equipment and ductwork, scullies, attic walkways, etc.

NOTE: Overall spans of trusses are shown above with 4" nominal bearing each end, 24" o.c. spacing, a live load distribution limited to 1/240 maximum and use under properties as follows: 2x4 10-2000 psi F<sub>v</sub> = 1800 psi, E = 1,800,000 psi; 2x6 15-2000 psi F<sub>v</sub> = 1800 psi, E = 1,800,000 psi; 2x8 18-2000 psi F<sub>v</sub> = 1800 psi, E = 1,800,000 psi; 2x10 24-2000 psi F<sub>v</sub> = 1800 psi, E = 1,800,000 psi.

**ATTIC VENTILATION CALCULATIONS**

VENTILATING AREA (CONVERTING FROM Sq. In. TO Sq. Ft.)		NOTE: Sq. In. PROVIDED BY MANUFACTURE OF PRODUCT	
GAF-ELK COBRA RIDGE RUNNER OR APPROVED EQUAL		RIDGE VENT = 12.5 Sq. In. * (1/144) = 0.0868 Sq. Ft.	
ALSIDE ALLIANCE T4 PREMIUM VINYL SOFFIT OR APPROVED EQUAL		SOFFIT VENT = 7.0 Sq. In. * (1/144) = 0.0486 Sq. Ft.	
	Sq. Ft. * (1/150) = REQUIRED VENTILATING AREA (UNHEATED)	RIDGE VENT = Lin. Ft. * 0.0868 Sq. Ft. = VENT CAPACITY	
	Sq. Ft. * (1/300) = REQUIRED VENTILATING AREA (HEATED)	SOFFIT VENT = Lin. Ft. * 0.0486 Sq. Ft. = VENT CAPACITY	
LOCATION	SQUARE FEET (UNDER ROOF)	UNHEATED (1/150) (REQUIRED)	HEATED (1/300) (REQUIRED)
FLOOR PLAN	3877.4 Sq. Ft.		12.92 Sq. Ft.
		VENT TYPE	LINEAR FEET (OF PRODUCT)
		RIDGE VENT	
		SOFFIT VENT	

**KEY TO FLOOR PLANS**

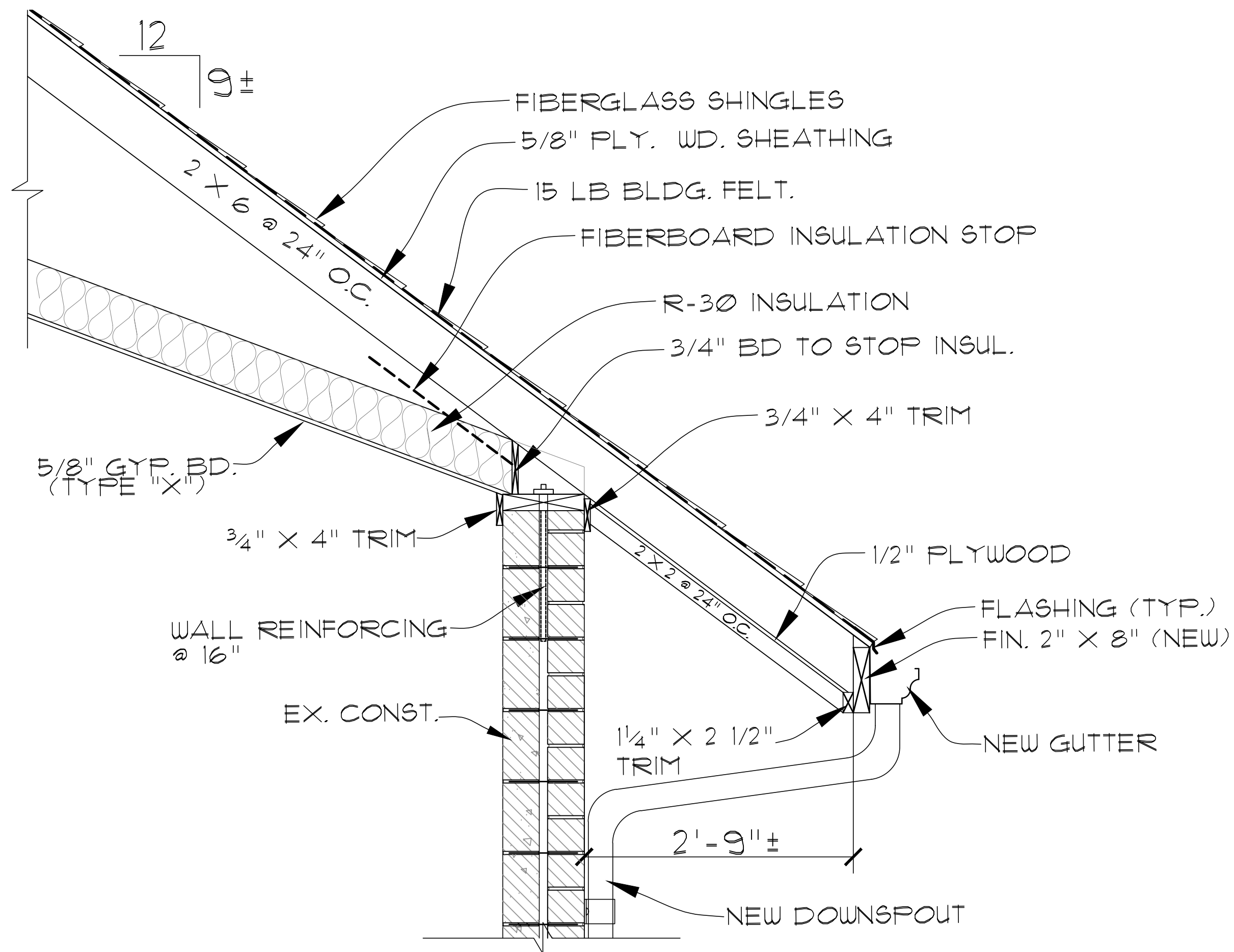
(Solid line)	EXISTING TRUSS
(Dashed line)	NEW 2X10 @ 24" O.C.
(Hatched area)	3/4" PLYWOOD PLATFORM
(Boxed area)	ATTIC ACCESS
(Dotted line)	EXIST. WALL

**2 ROOF FRAMING PLAN**  
A-4 / SCALE: 1/8" = 1'-0"

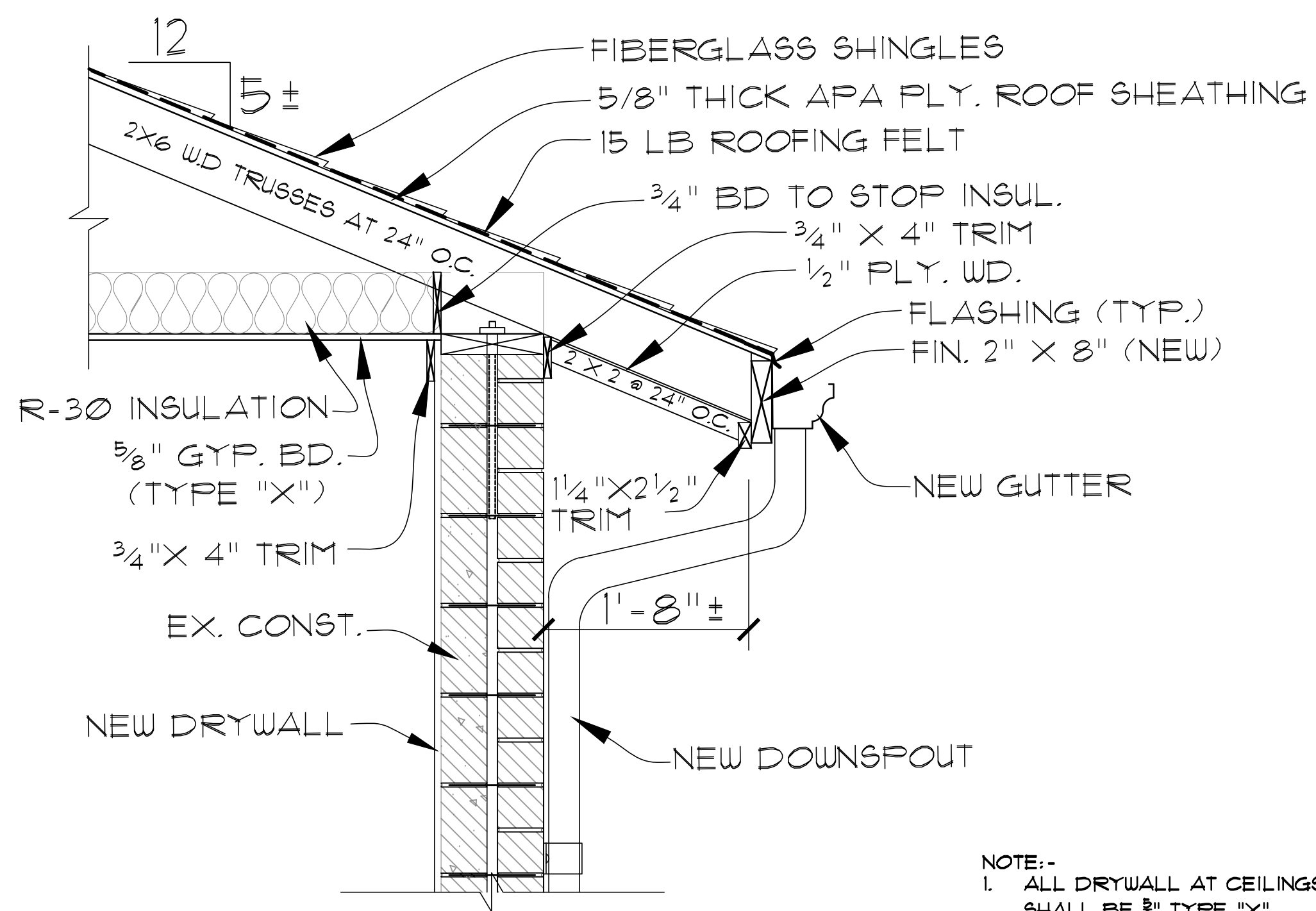
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<b>SHEET A-4 OF 8</b>					

**ROOF PLAN, ROOF FRAMING PLAN, TRUSSES AND ENLARGED DETAILS**

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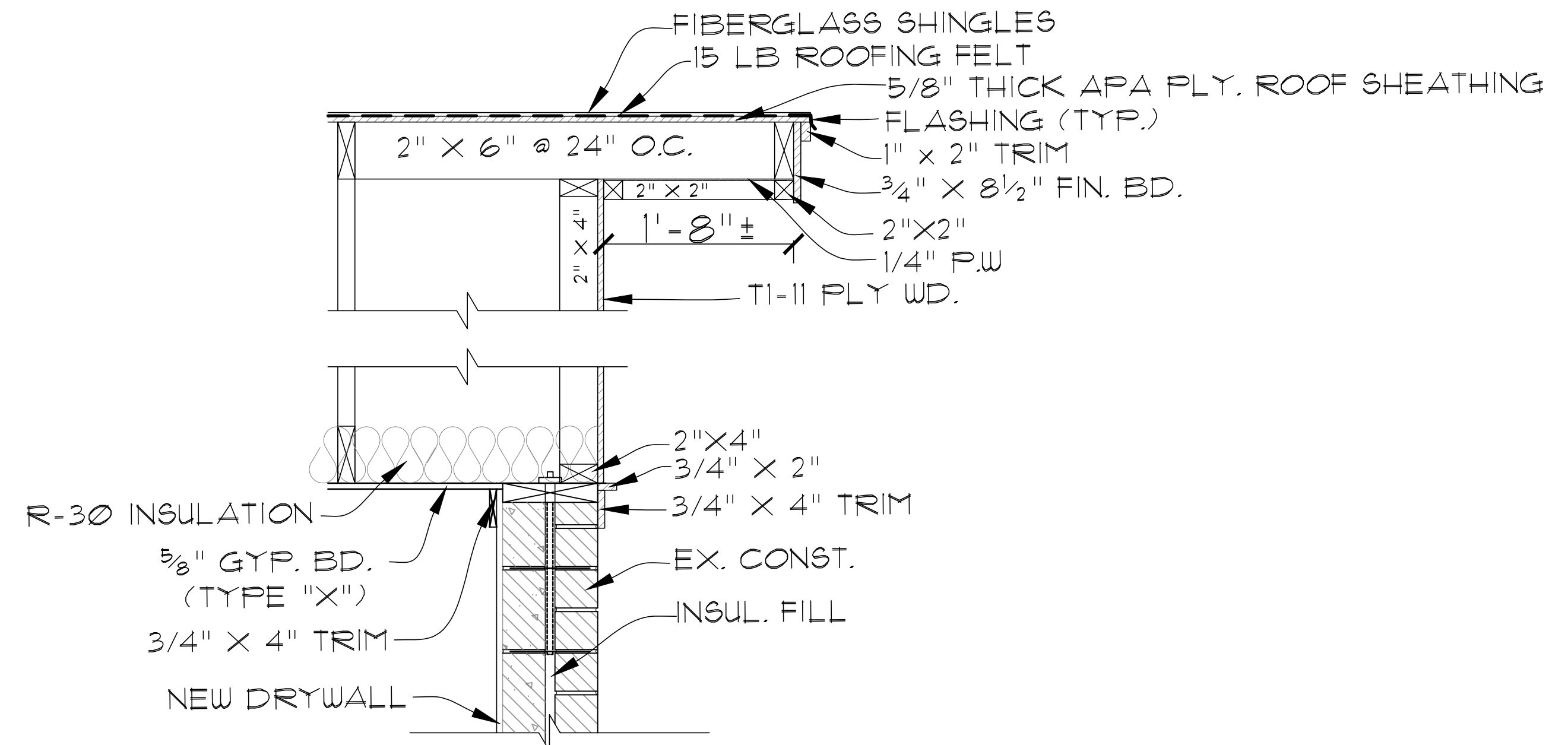


**1** DETAIL SECTION  
A-5 SCALE: 1" = 1'-0"

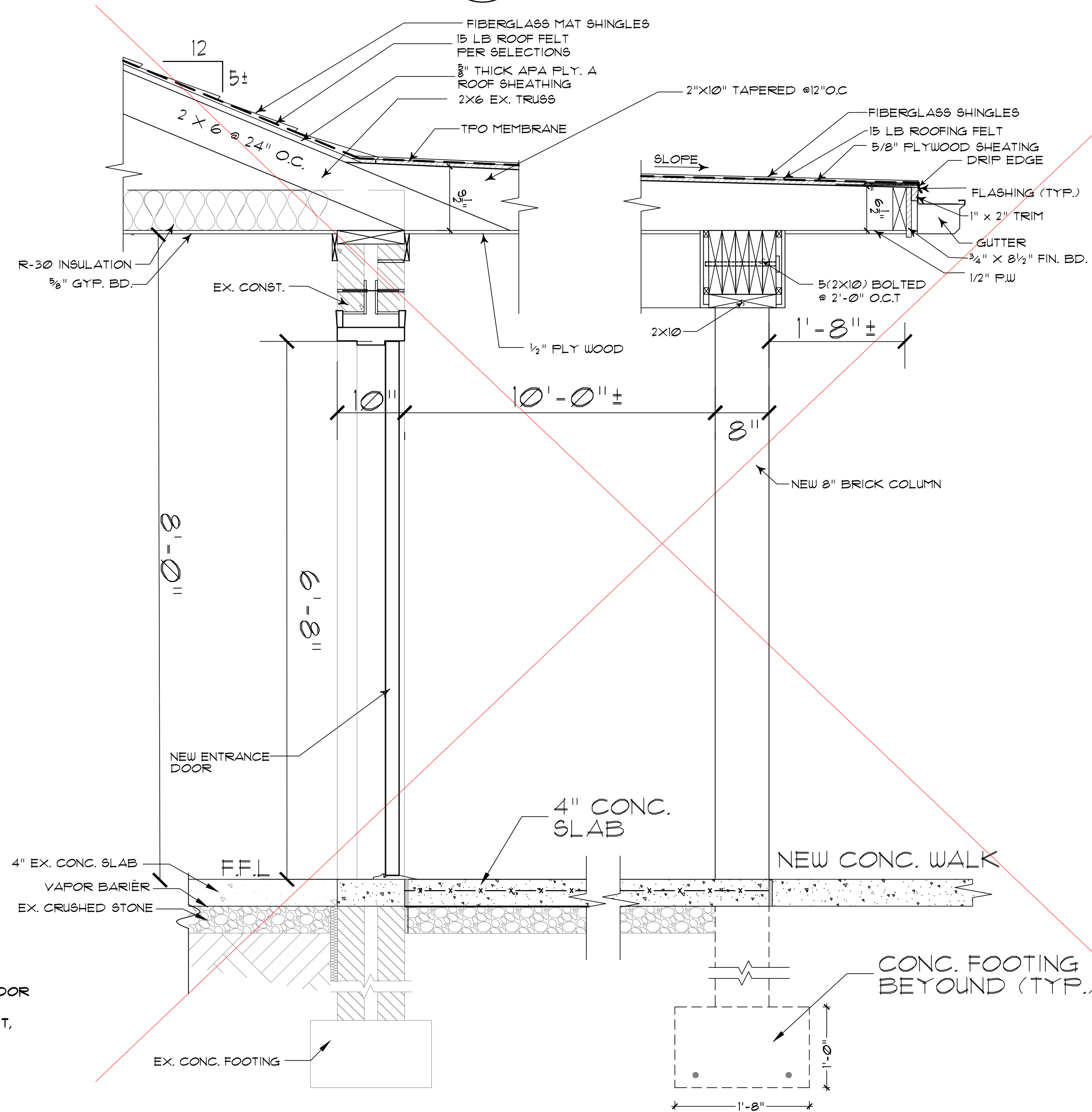


**3** DETAIL SECTION  
A-5 SCALE: 1" = 1'-0"

NOTE:-  
1. ALL DRYWALL AT CEILINGS AND CORRIDOR SHALL BE 5/8" TYPE "X".  
2. ALL SHEATHING, FASCIA BOARDS, SOFFIT, TRIM ETC. SHALL BE NEW.



**2** DETAIL SECTION  
A-5 SCALE: 1" = 1'-0"

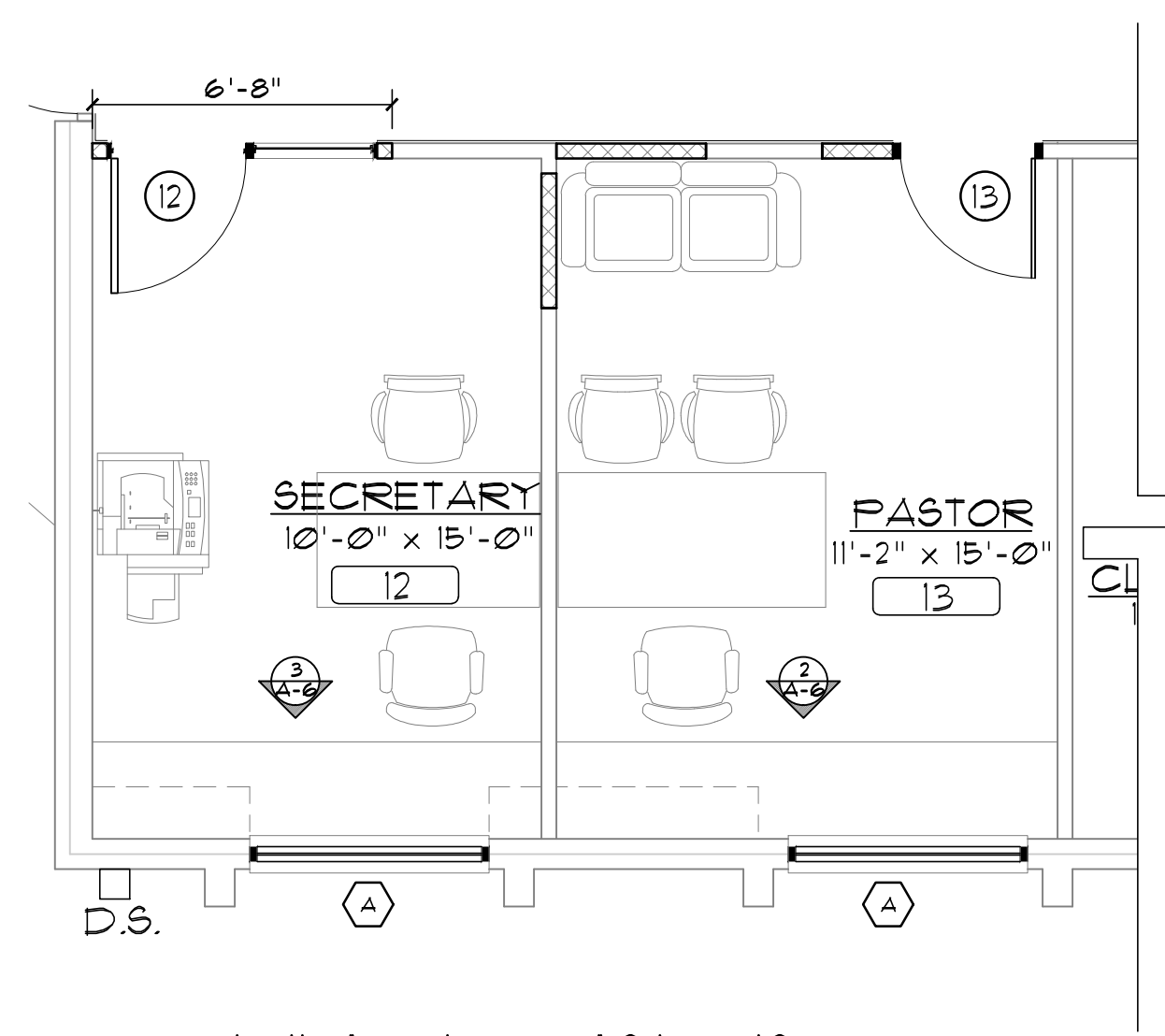


**4** WALL SECTION (N.I.C.)  
A-5 SCALE: 1" = 1'-0"

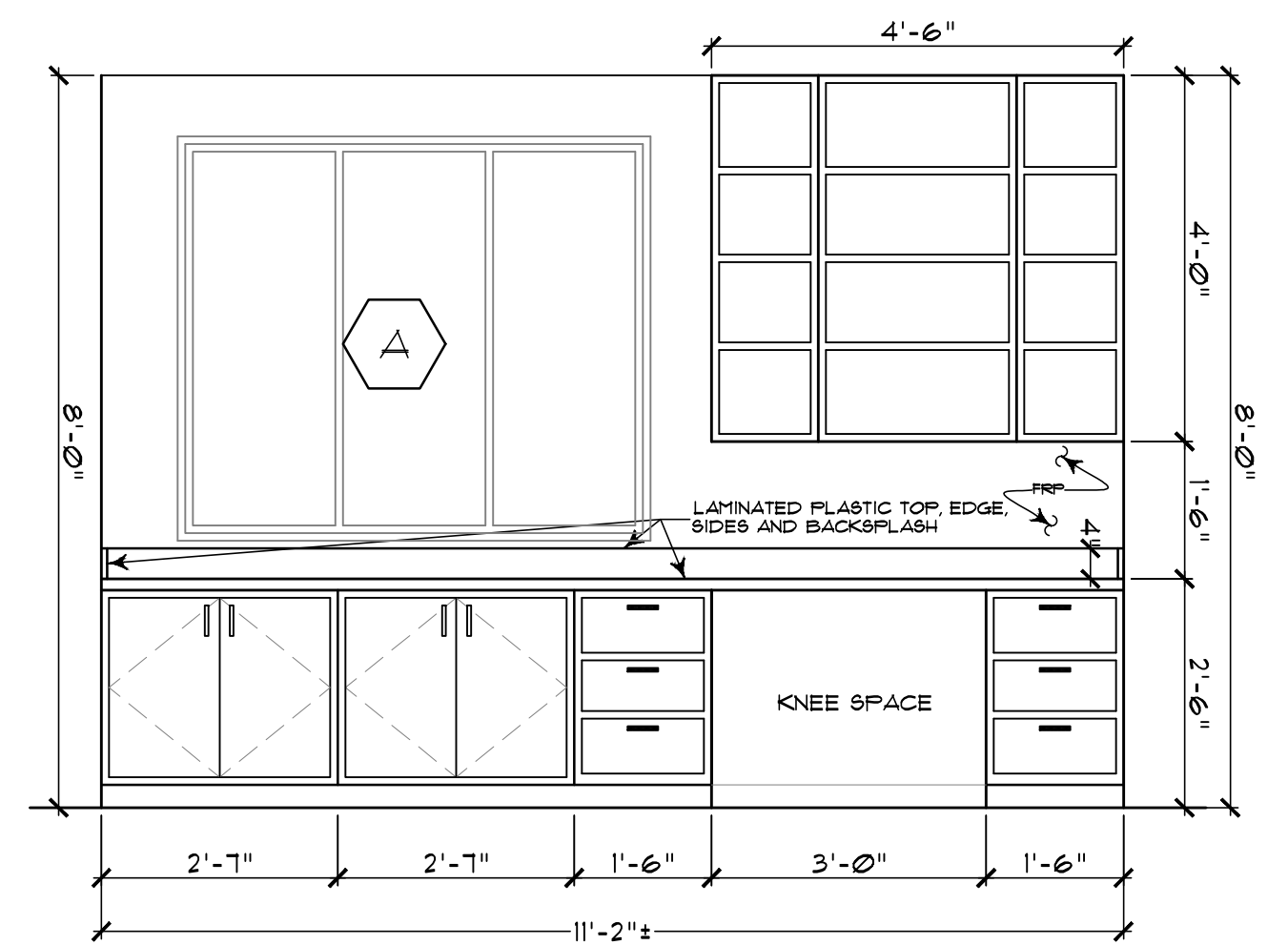
DETAILS AND WALL SECTION

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SHEET <b>A-5</b> OF 8					

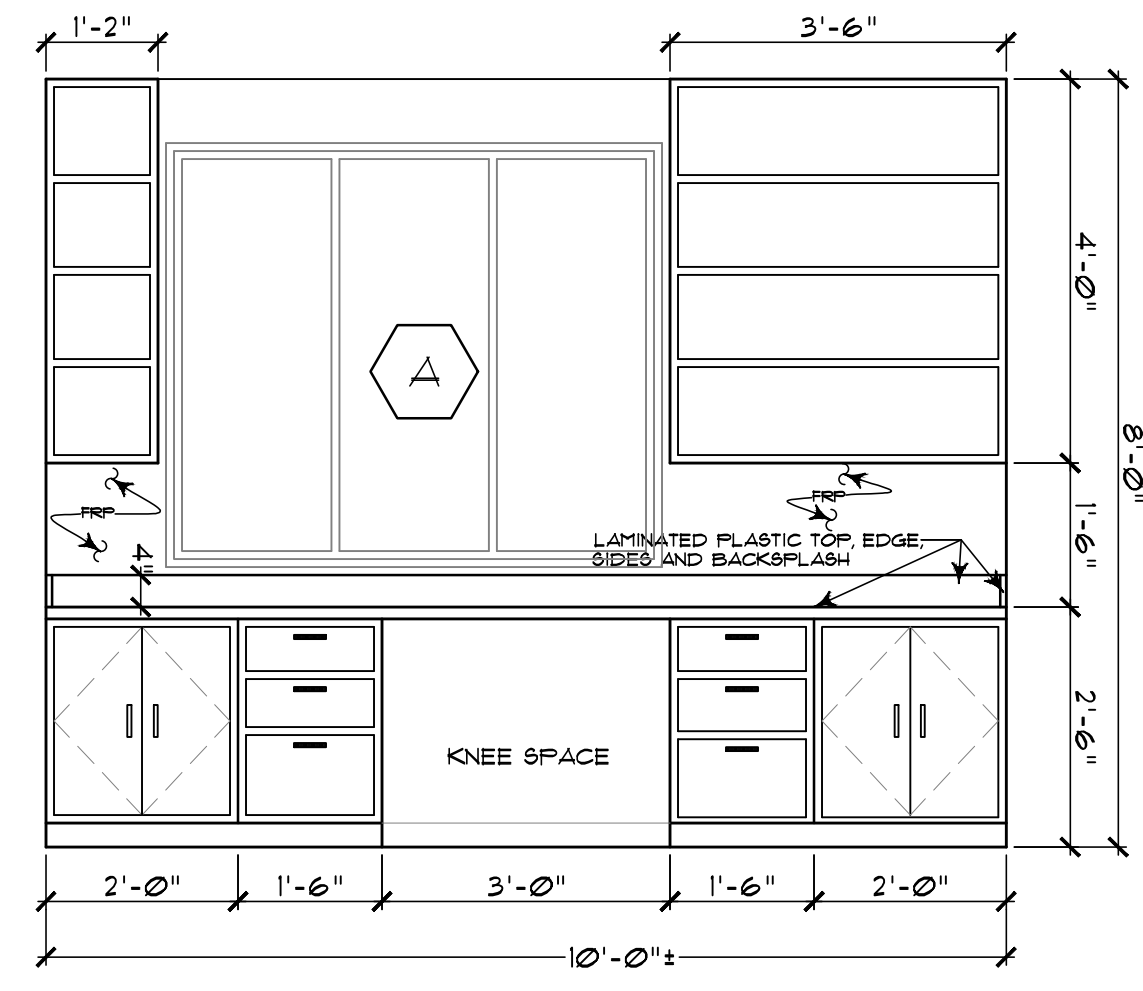
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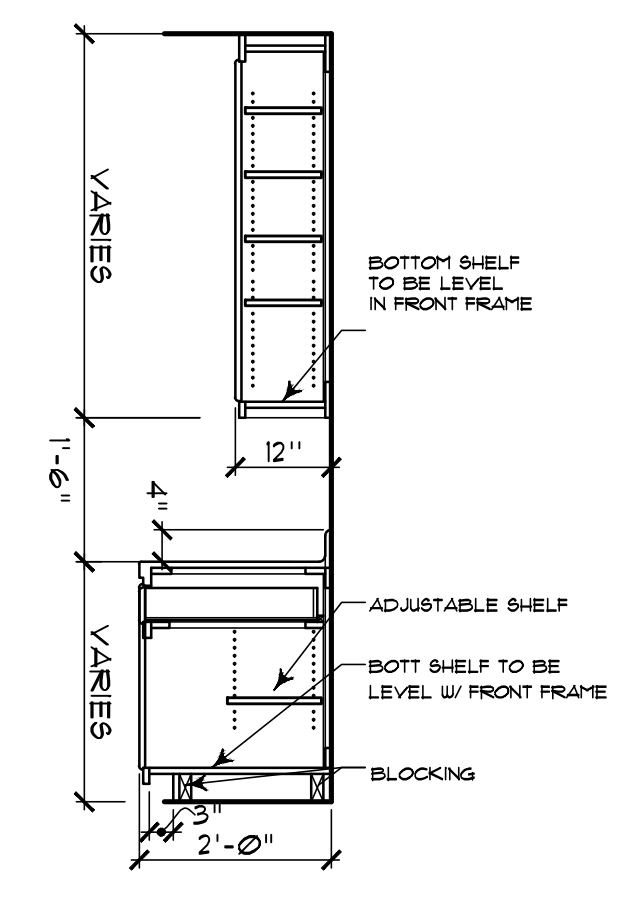
**1 ENLARGED PASTOR'S AND SECRETARY'S OFFICE'S**  
 A-6 SCALE: 1/4" = 1'-0"



**2 PASTOR'S OFFICE**  
 A-6 SCALE: 1/2" = 1'-0"

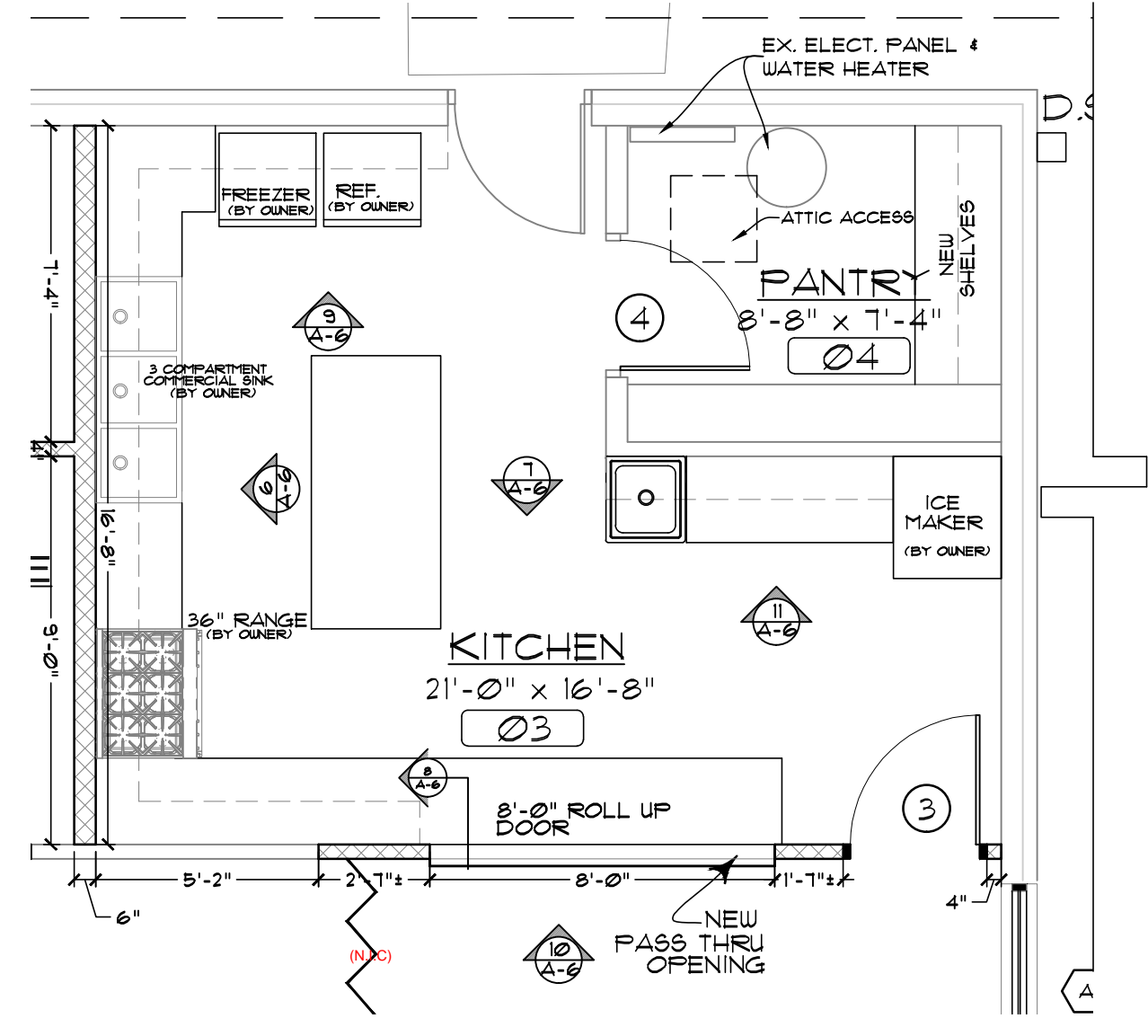


**3 SECRETARY'S OFFICE**  
 A-6 SCALE: 1/2" = 1'-0"

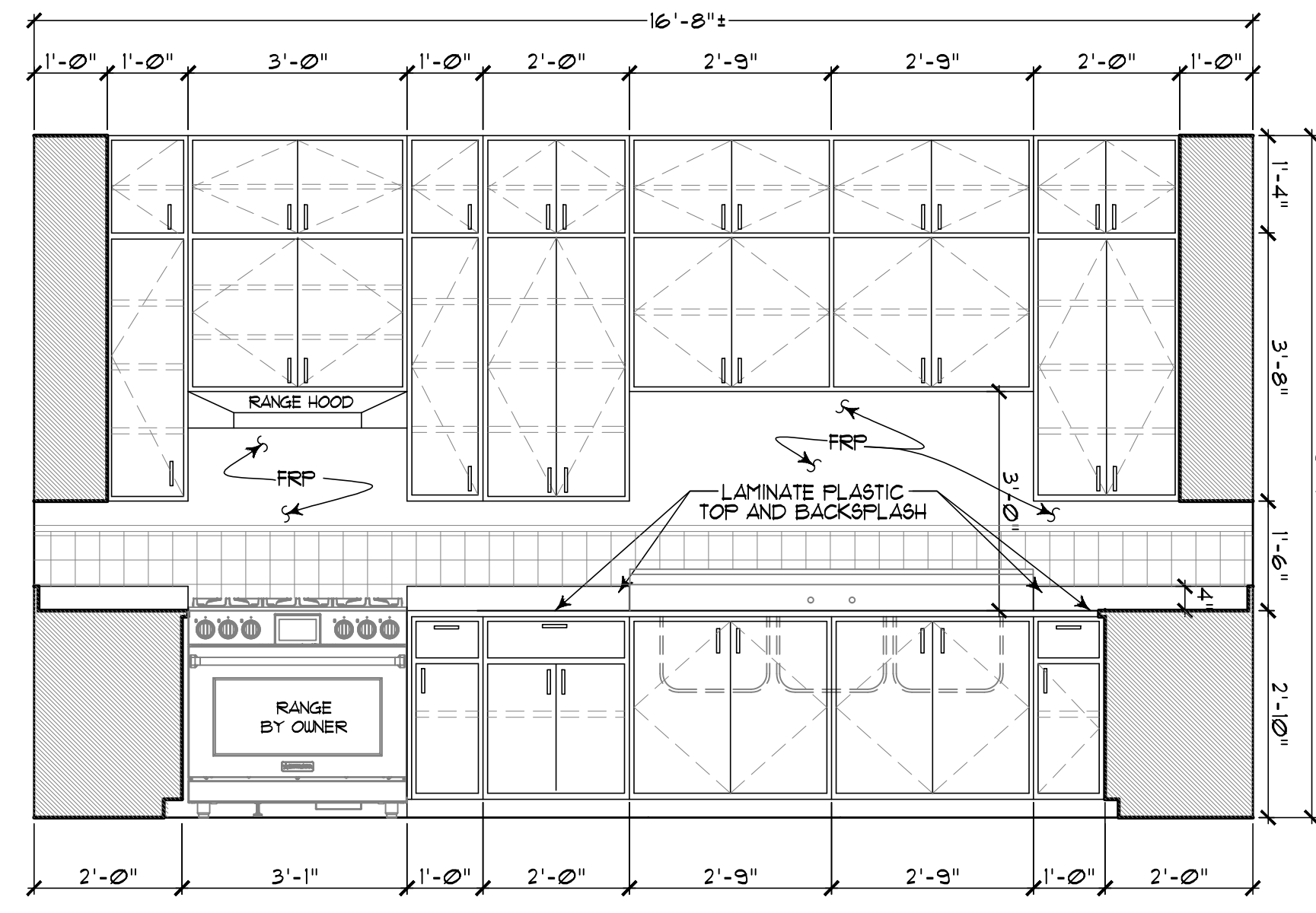


**4 TYPICAL SECTION THRU CABINET**  
 A-6 SCALE: 1/2" = 1'-0"

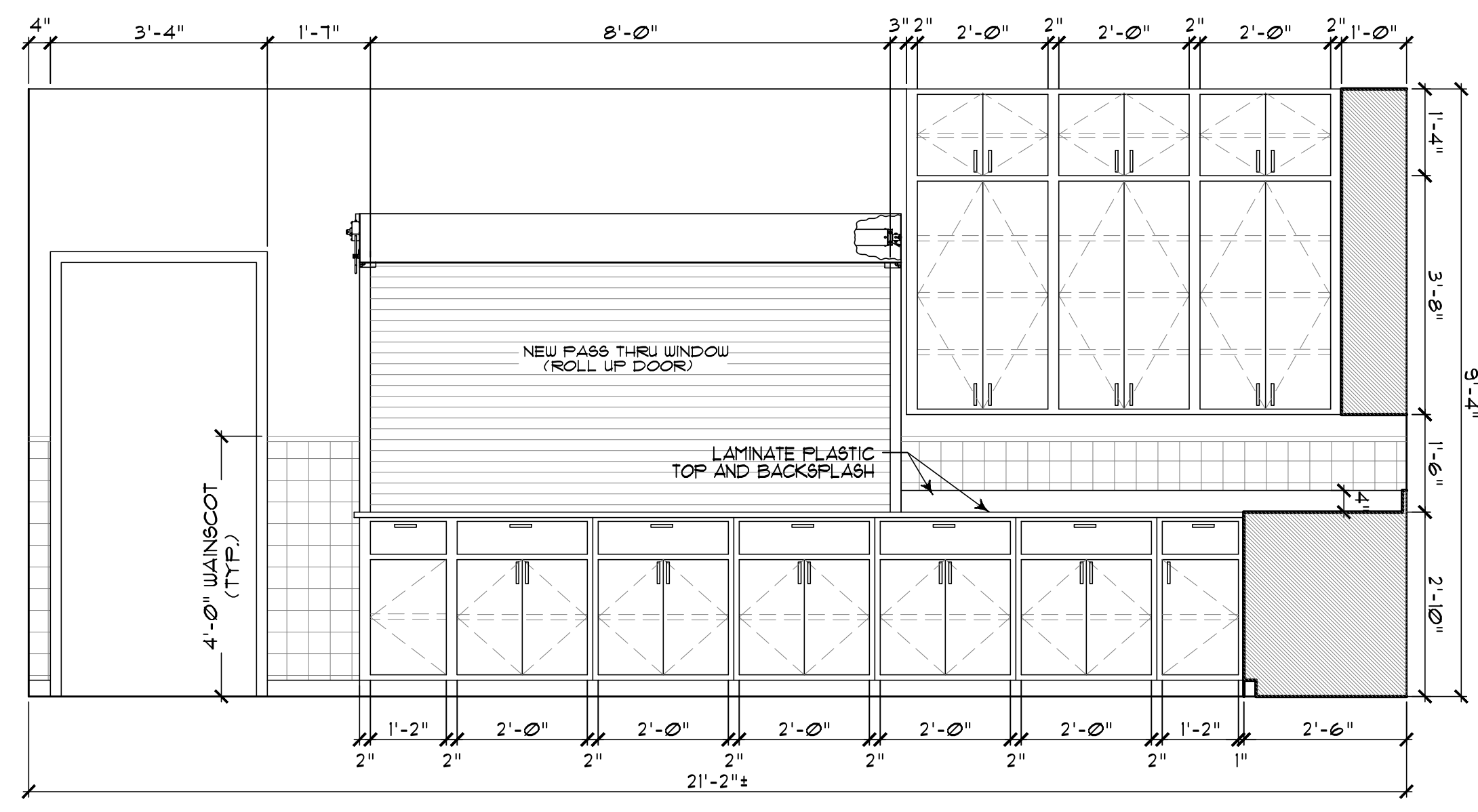
NOTE:  
 ALL CABINETS SHALL BE PREMIUM GRADE OR CUSTOM GRADE BIRCH



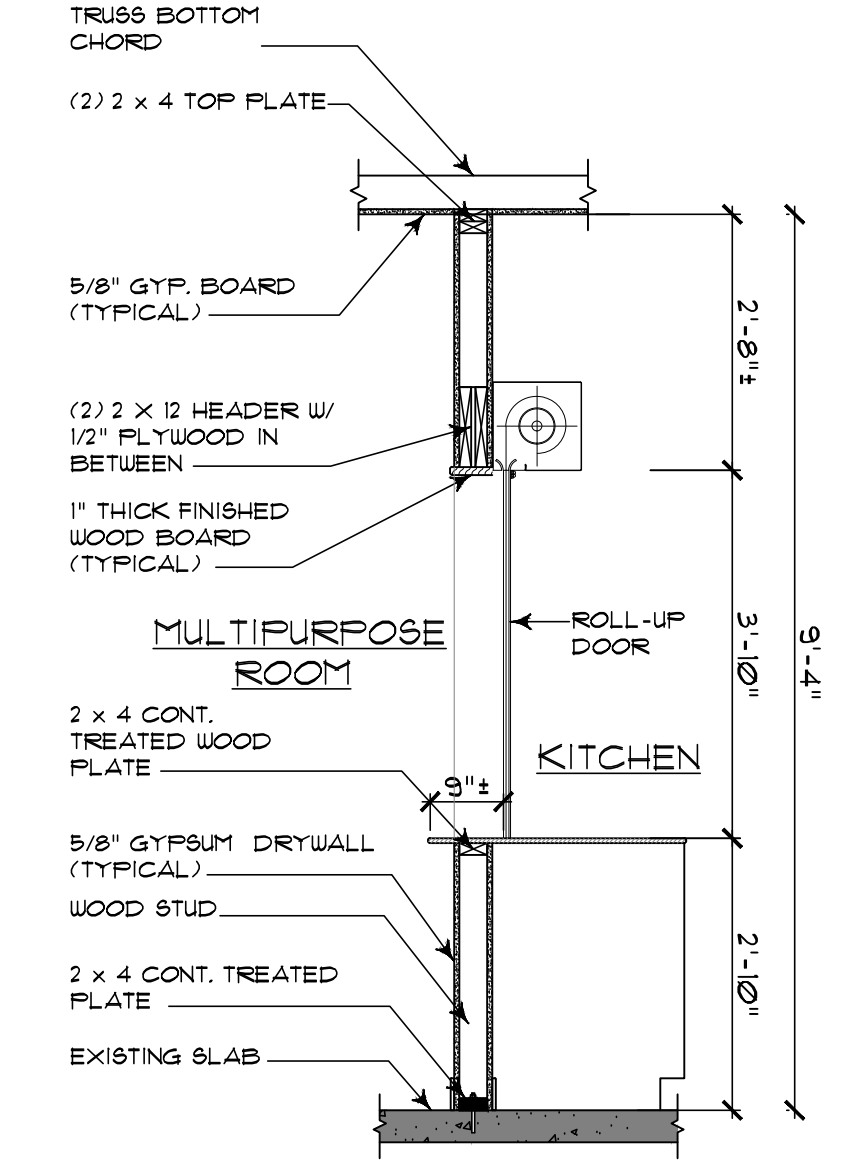
**5 ENLARGED KITCHEN**  
 A-6 SCALE: 1/4" = 1'-0"



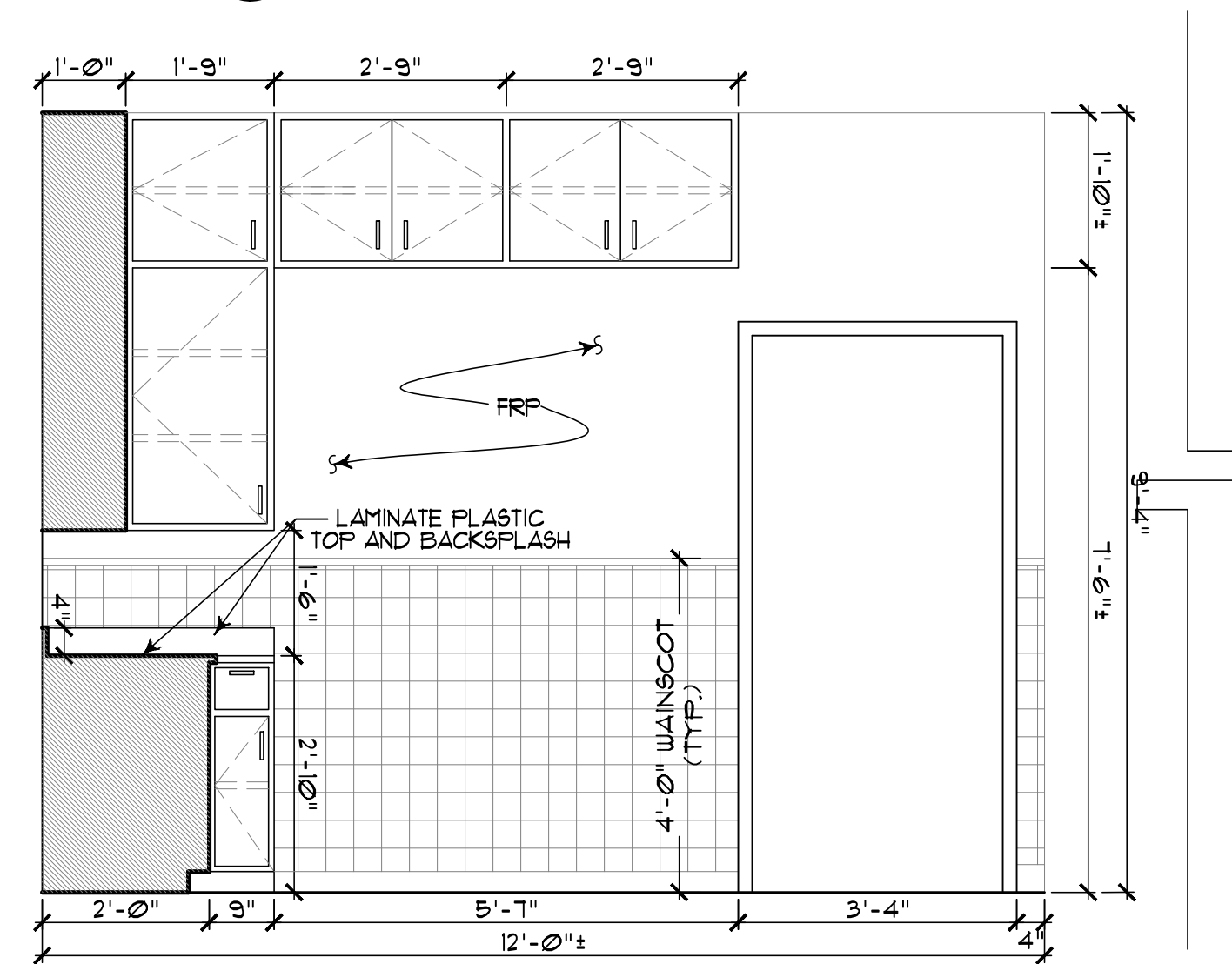
**6 ELEVATION AT KITCHEN**  
 A-6 SCALE: 1/2" = 1'-0"



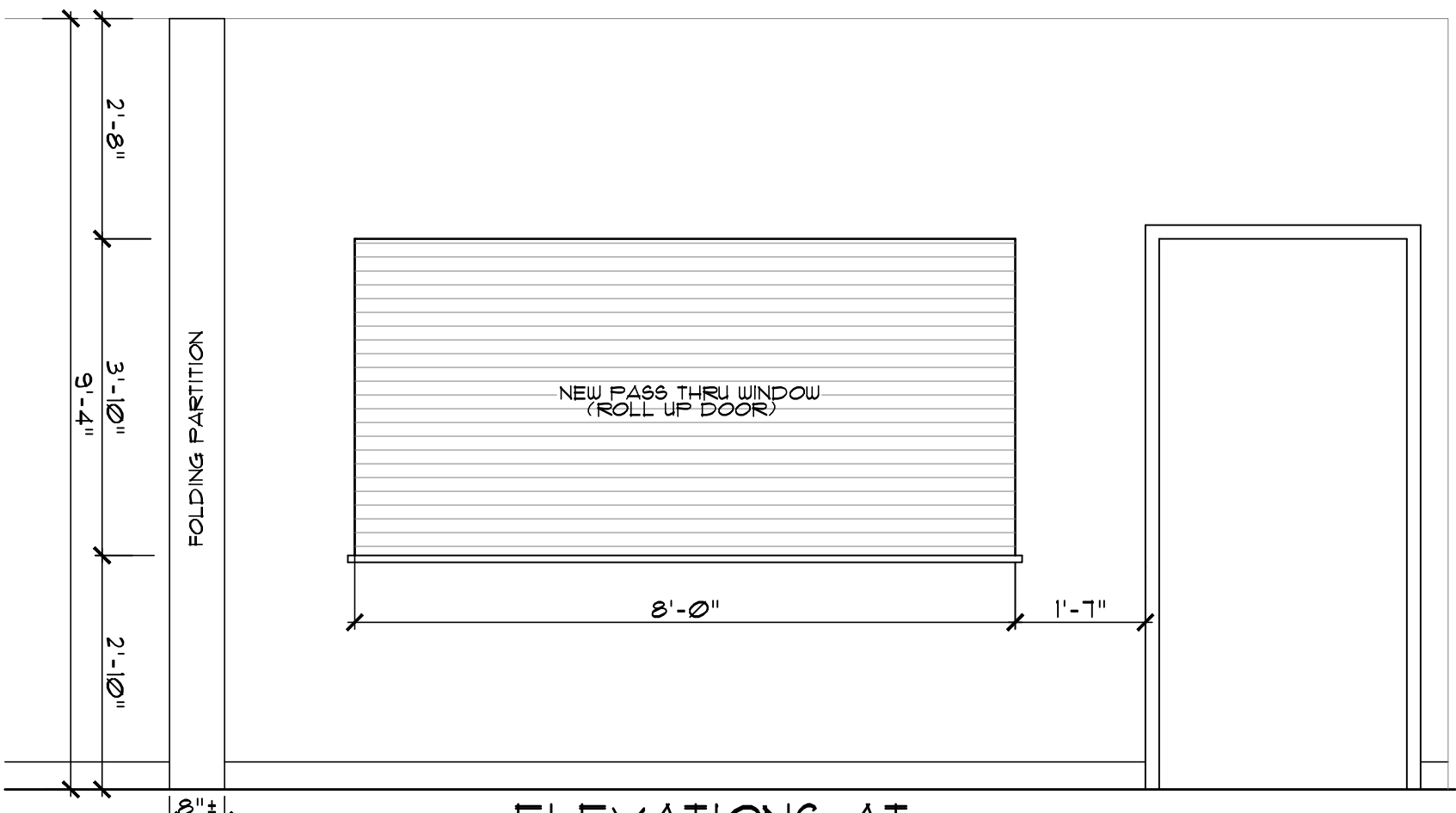
**7 ELEVATION AT KITCHEN**  
 A-6 SCALE: 1/2" = 1'-0"



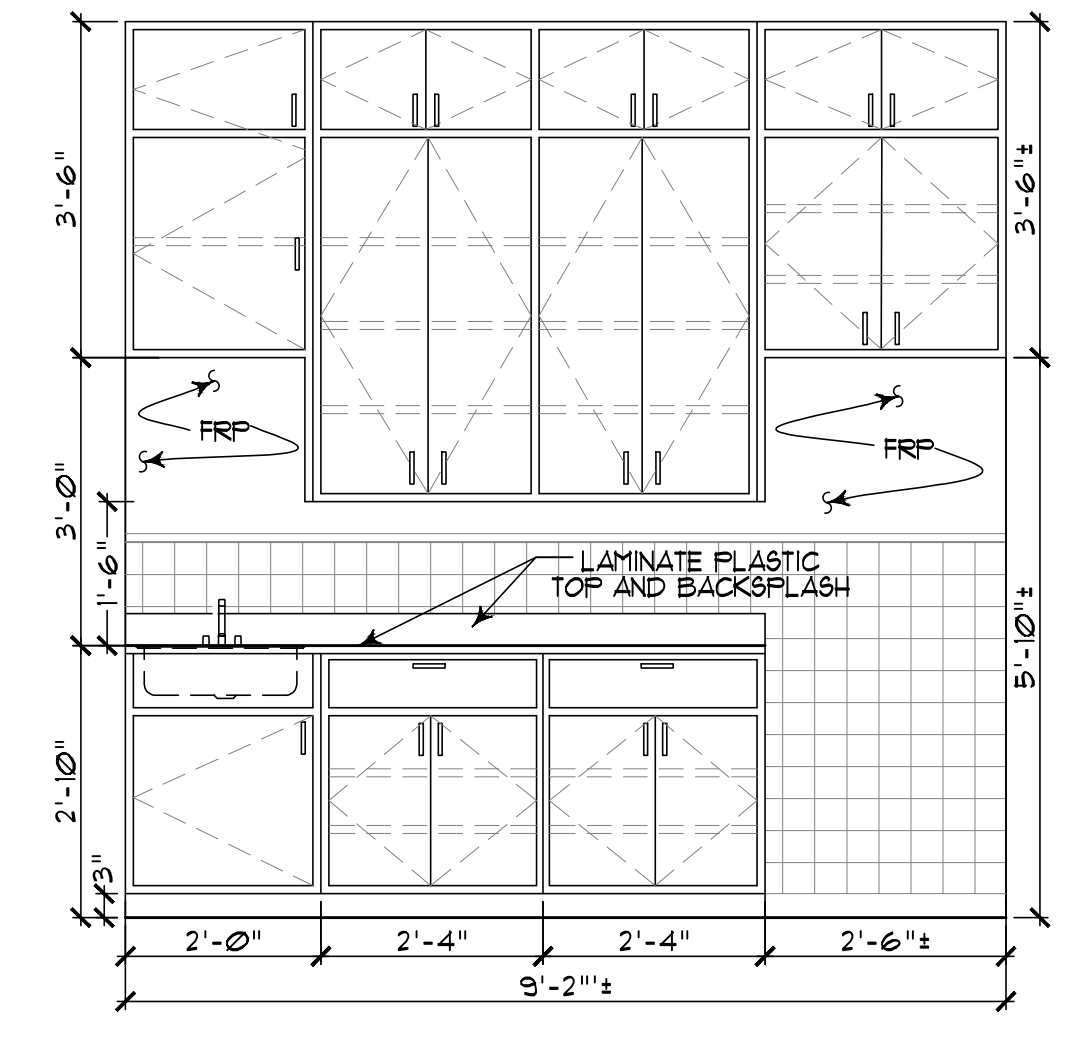
**8 SECTION AT PASS THRU**  
 A-6 SCALE: 1/2" = 1'-0"



**9 ELEVATION AT KITCHEN**  
 A-6 SCALE: 1/2" = 1'-0"



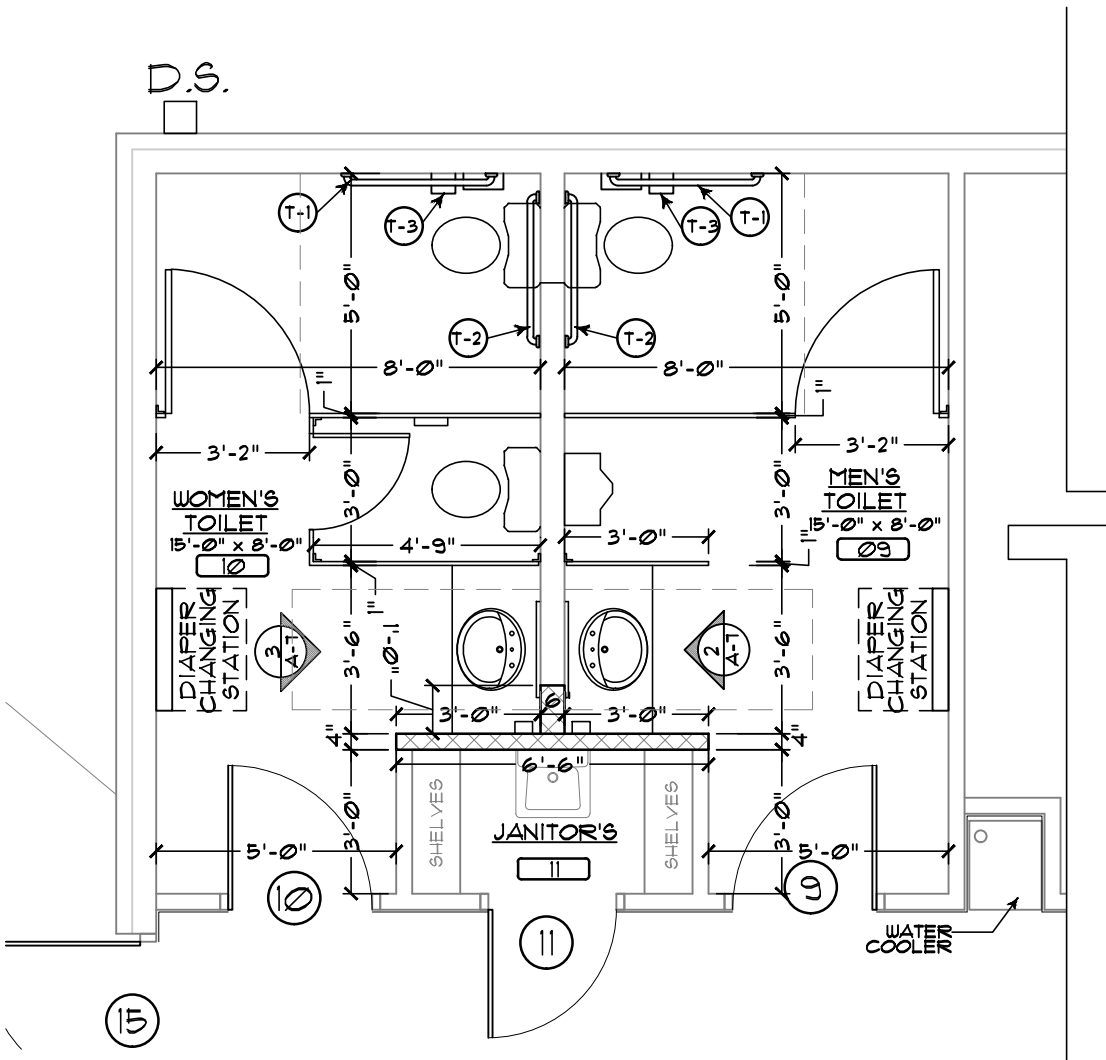
**10 ELEVATIONS AT PASS THRU WINDOW**  
 A-6 SCALE: 1/2" = 1'-0"



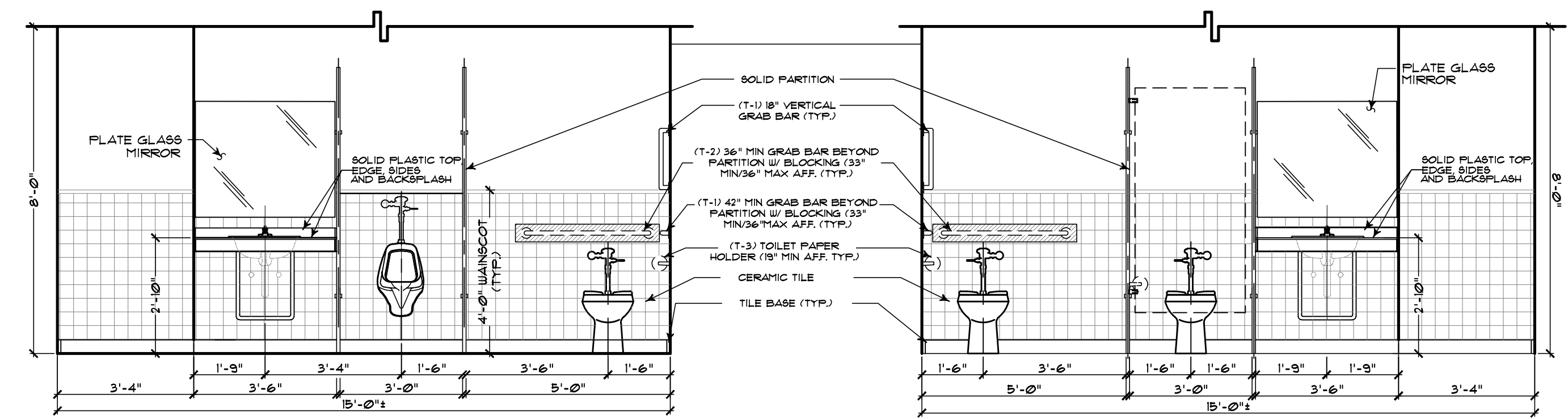
**11 ELEVATION AT KITCHEN**  
 A-6 SCALE: 1/2" = 1'-0"

REVISIONS	DATE	JOB NO. G-345	DATE 2-10-2026	DRAWN BY	CHECKED BY
RENOVATIONS TO CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groomtown Rd, Greensboro, NC 27407					
CLINTON E. GRAVELLY A.I.A. ARCHITECT ASSOCIATES ARCHITECTS PLANNERS (336) 275-6183 374 WEST WENDOVER AVENUE, SUIT 111 GREENSBORO, NORTH CAROLINA 27407 FAX (336) 275-9885 E-MAIL ADDRESS info@clanvachitect.com					
SHEET <b>A-6</b> OF 8					

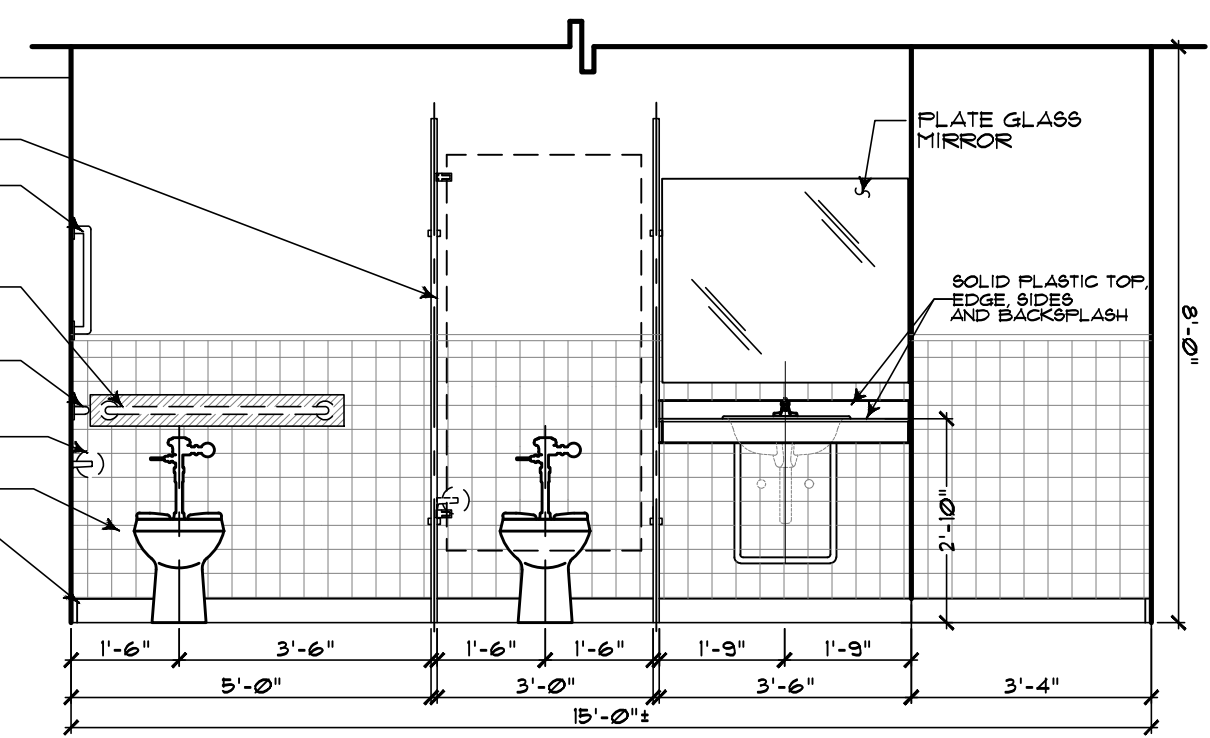
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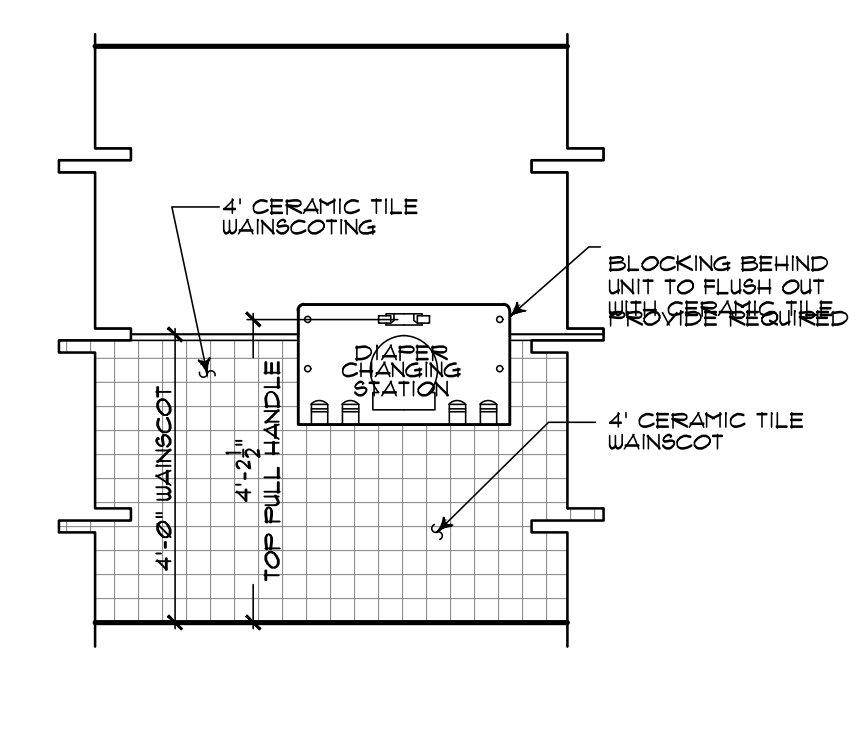
1 ENLARGED TOILET PLAN  
SCALE: 1/4" = 1'-0"



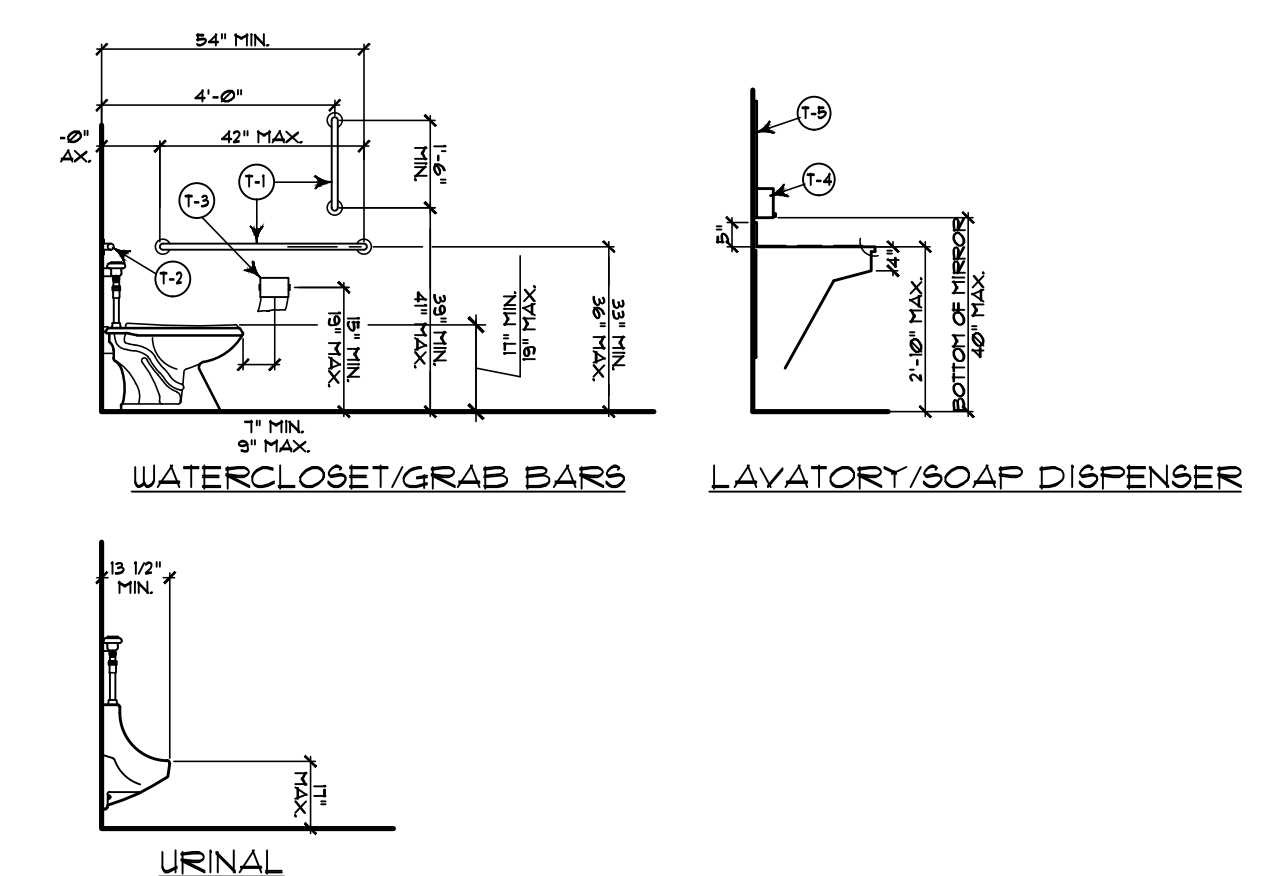
2 ELEVATIONS AT MEN'S TOILET  
SCALE: 3/8" = 1'-0"



3 ELEVATIONS AT WOMEN'S TOILET  
SCALE: 3/8" = 1'-0"

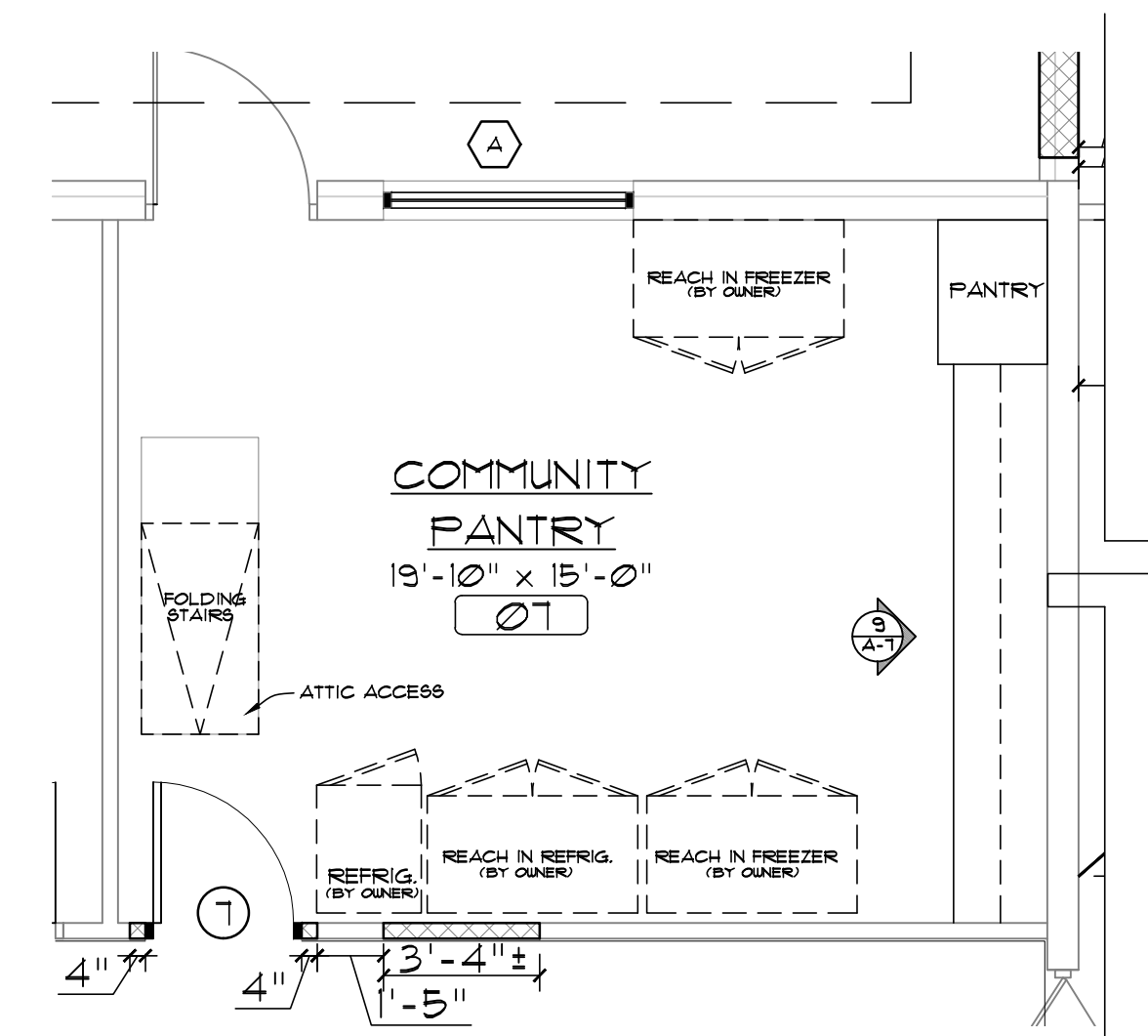


4 ELEVATION AT DIAPER CHANGING STATION  
SCALE: 3/8" = 1'-0"

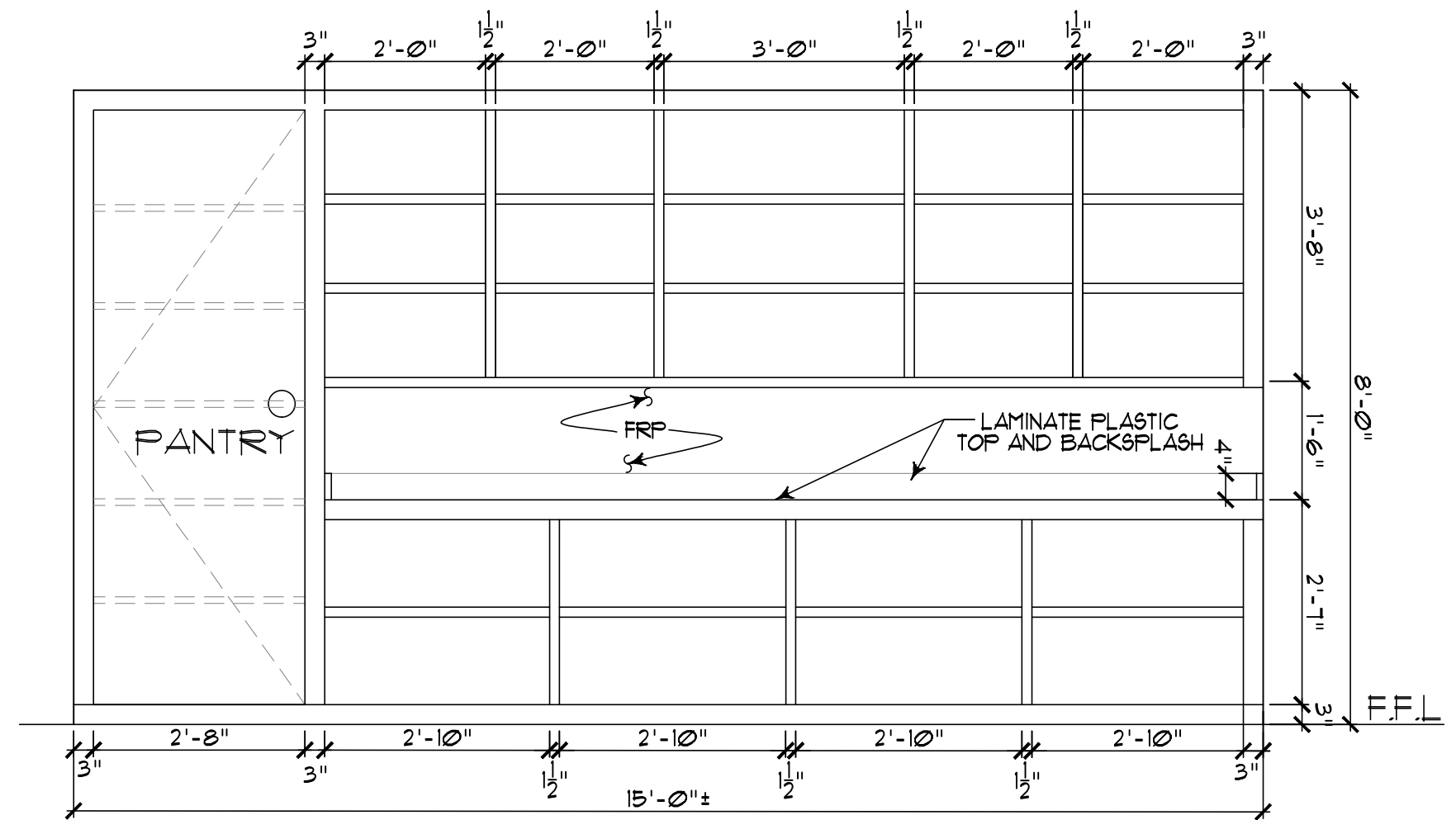


5 URINAL  
SCALE: 1" = 1'-0"

- TOILET ACCESSORY LEGEND**
- (1) 42" SIDEWALL GRAB BAR AND 18" VERTICAL GRAB BAR MOUNTED
  - (2) 36" REAR WALL GRAB BAR (MOUNT 6" MAX FROM SIDE WALL)
  - (3) TOILET TISSUE DISPENSER TO BE SUPPLIED AND MOUNTED BY OWNER
  - (4) HAND SOAP DISPENSER TO BE SUPPLIED AND MOUNTED BY OWNER
  - (5) 8-1/2" x 6" FLATED GLASS MIRROR TO BE SUPPLIED AND MOUNTED BY OWNER
  - (6) PAPER TOWEL DISPENSER SUPPLIED AND MOUNTED BY OWNER

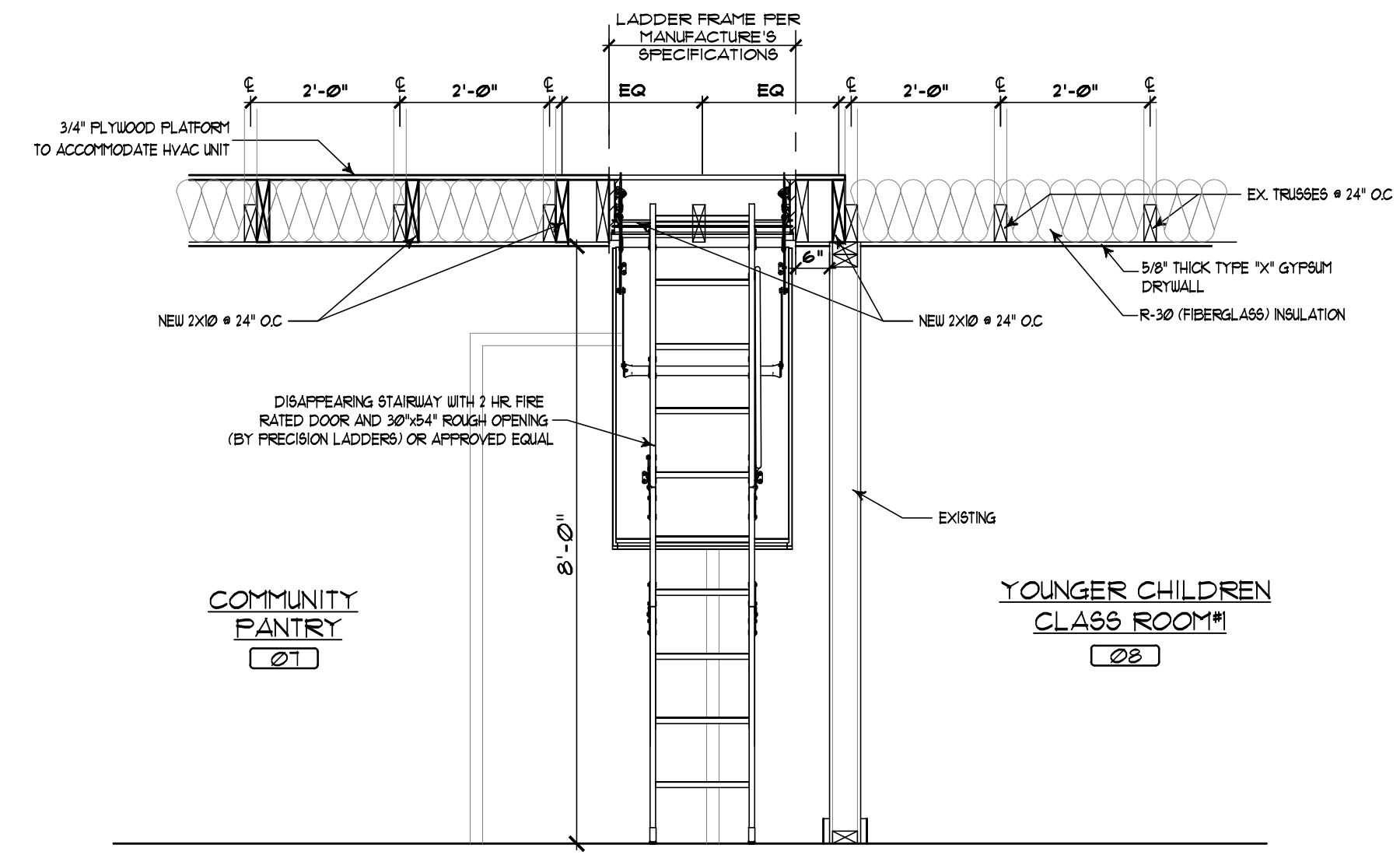


6 ENLARGED COMMUNITY PANTRY  
SCALE: 1/4" = 1'-0"

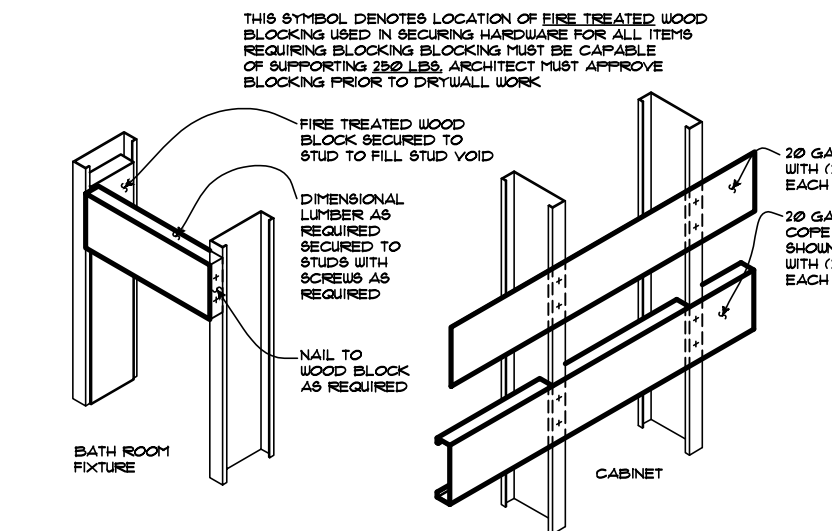


7 ELEVATION AT COMMUNITY PANTRY  
SCALE: 1/2" = 1'-0"

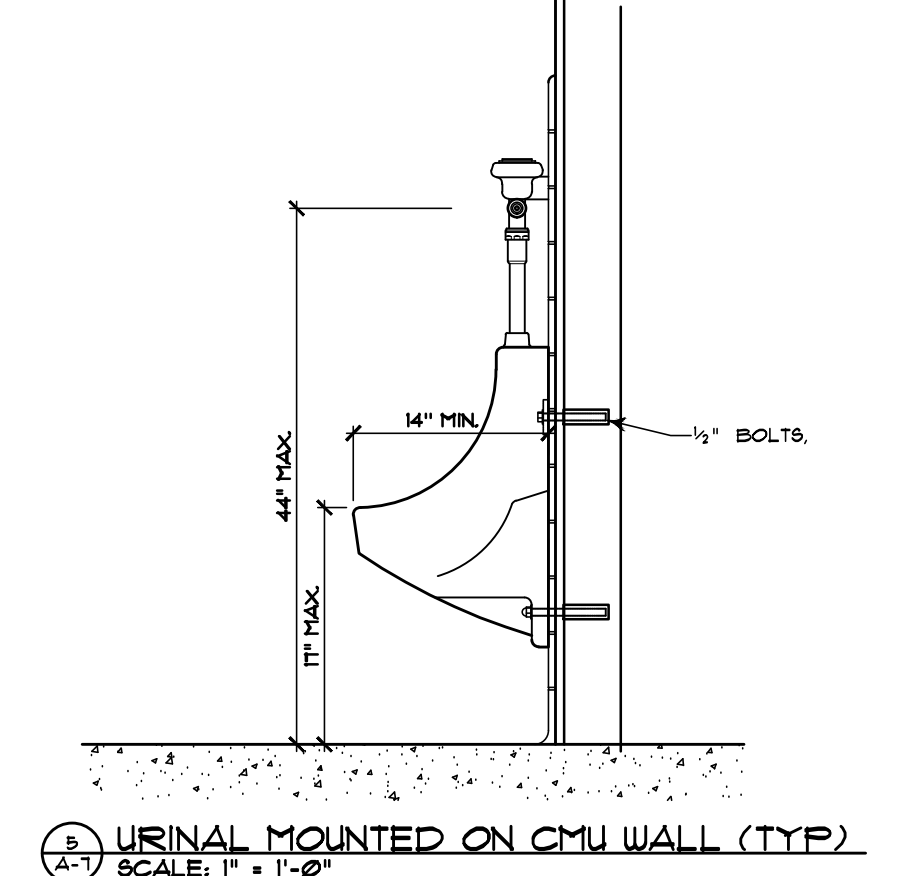
NOTE - PANTRY / SHELVING NOT IN CONTRACT.



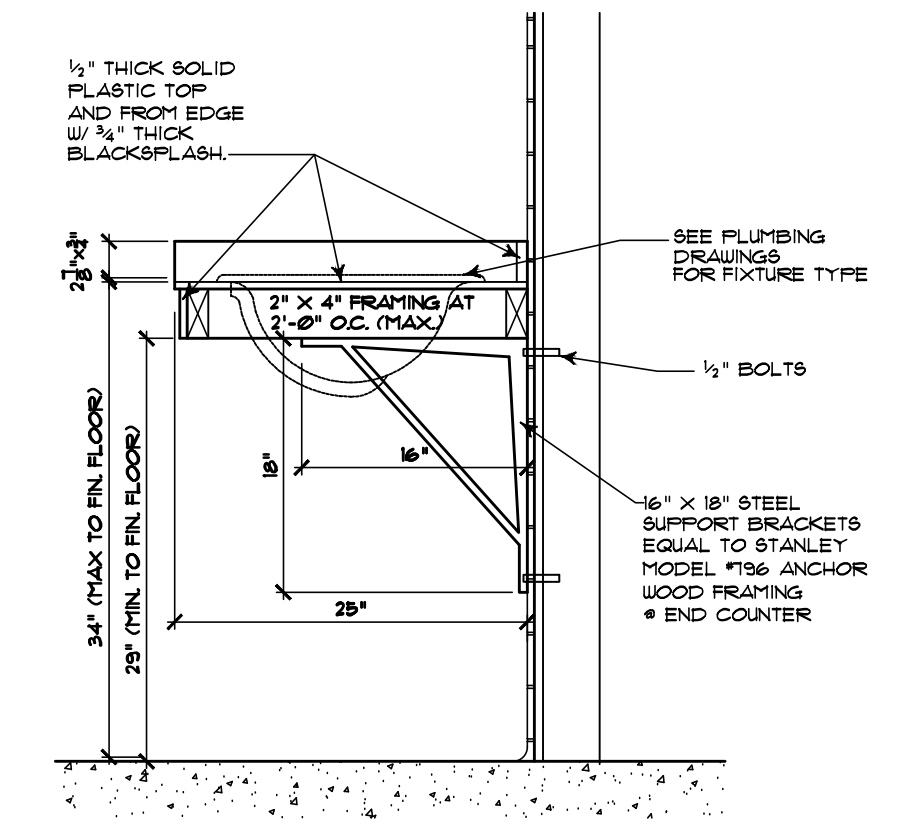
8 ATTIC ACCESS DETAIL  
SCALE: 1/2" = 1'-0"



9 HEAVY FIXTURE ATTACHMENTS AND BACKING FOR CABINETS (BLOCKING DETAILS)  
SCALE: 3/4" = 1'-0"



10 URINAL MOUNTED ON CMU WALL (TYP)  
SCALE: 1" = 1'-0"

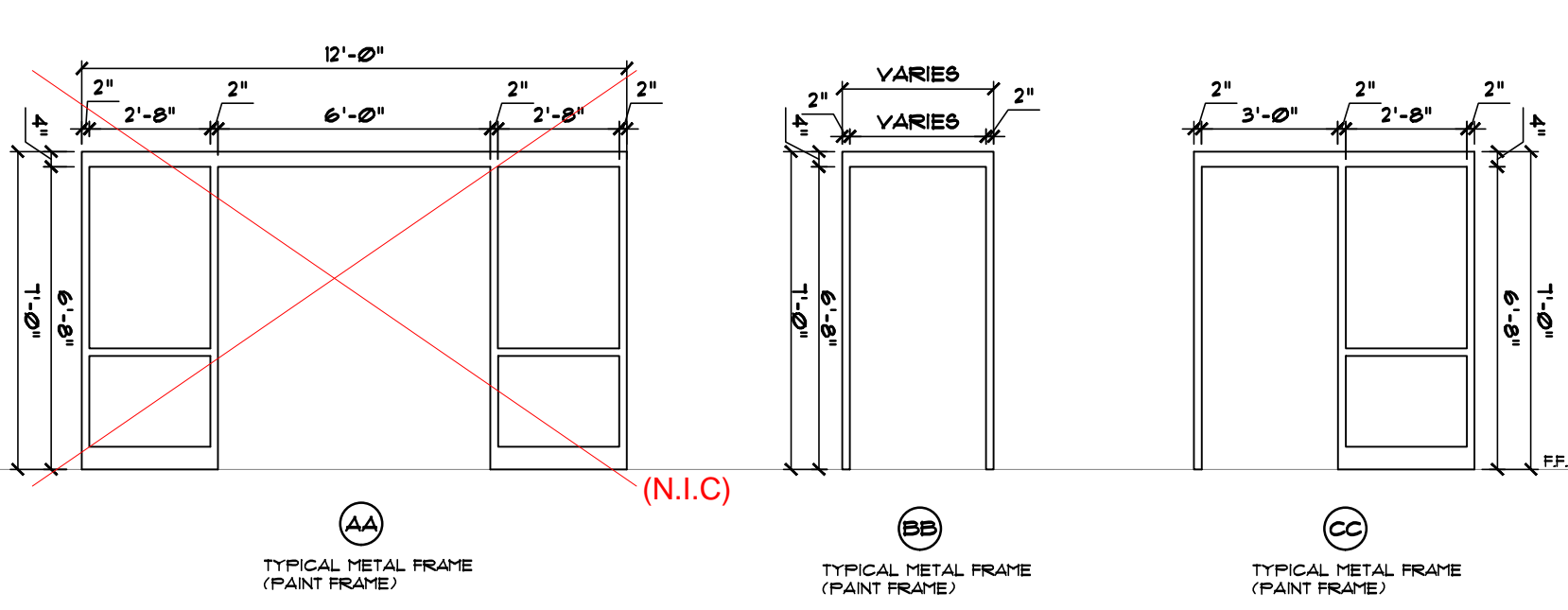


11 SECTION THRU VANITY (TYPICAL)  
SCALE: 1" = 1'-0"

INTERIOR ELEVATION, SECTIONS AND DETAILS

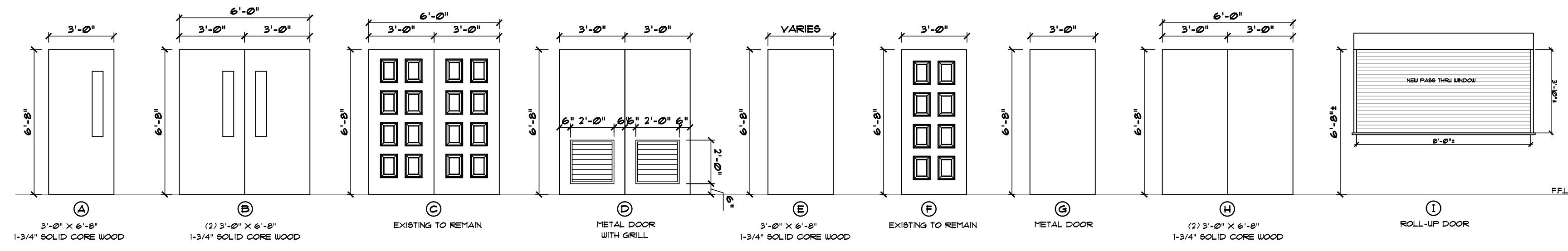
REVISIONS					
DATE	JOB NO.	DATE	DATE	DRAWN BY	CHECKED BY
	G-345	APRIL, 2024			
RENOVATIONS TO CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH 3709 Groomtown Rd, Greensboro, NC 27407					
CLINTON E. GRAVELLY, AIA ARCHITECT ASSOCIATES ARCHITECTS PLANNERS 374 WEST WENDOVER AVENUE SUIT 111 GREENSBORO, NORTH CAROLINA 27407 (336) 275-6183 (336) 336-275-9885 E-MAIL ADDRESS: info@claytonarchitect.com					
SHEET <b>A-7</b> OF 8					

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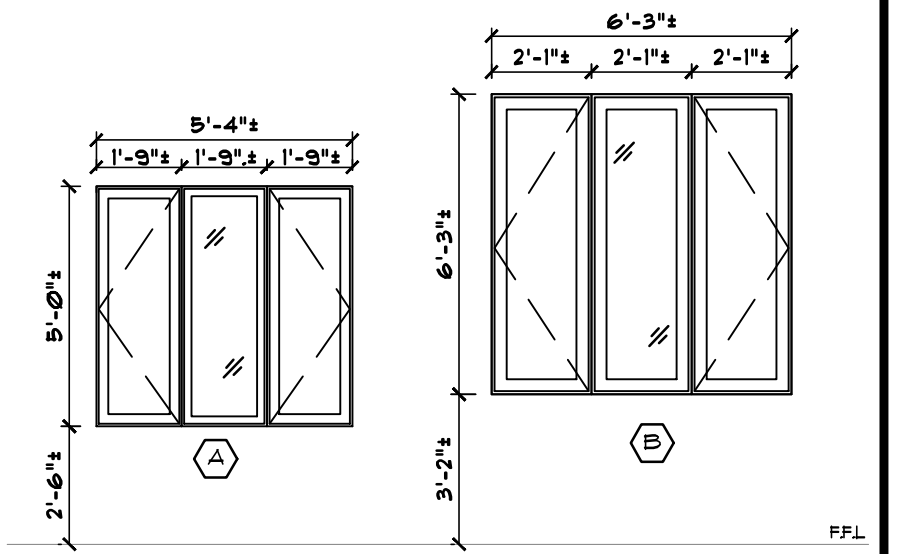


1 DOOR FRAME ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE:-  
ALL DOOR FRAMES (INTERIOR AND EXTERIOR) SHALL BE METAL.



2 DOOR ELEVATION  
SCALE: 1/4" = 1'-0"



3 WINDOW SCHEDULE  
SCALE: 1/4" = 1'-0"

DOOR, FRAME, AND HARDWARE SCHEDULE

DOOR NUMBER	LOCATION	NUMBER AND SIZE	TYPE	MATERIAL	CORE	ELEVATION LABEL	FRAME ELEV. LABEL	FRAME LABEL	HARDWARE SET NO.	PLATES	REMARKS
1	LOBBY	(2) 3'-0" x 6'-8"	SUG.	MET.	H C		AA				
2	MULTI-PURPOSE ROOM	(2) 3'-0" x 6'-8"	SUG.	UD.	S B		BB				20 MIN. RATED
2A	MULTI-PURPOSE ROOM	(2) 3'-0" x 6'-8"	SUG.	MET.	H C		BB				
3	KITCHEN	3'-0" x 6'-8"	SUG.	UD.	S A		BB				
3A	KITCHEN	3'-0" x 6'-8"	RUL.	MET.	S.S. I						
3B	KITCHEN	3'-0" x 6'-8"	SUG.	MET.	H G						
4	PANTRY	3'-0" x 6'-8"	SUG.	UD.	S E		BB				
5	CHAIR AND TABLE STORAGE	(2) 3'-0" x 6'-8"	SUG.	UD.	S H		BB				
6	MECHANICAL RM.	(2) 3'-0" x 6'-8"	SUG.	UD.	S D		BB				
7	COMMUNITY PANTRY	3'-0" x 6'-8"	SUG.	UD.	S A		BB				20 MIN. RATED
7A	COMMUNITY PANTRY	3'-0" x 6'-8"	SUG.	MET.	H G		BB				
8	CLASS ROOM #1	3'-0" x 6'-8"	SUG.	UD.	S A		BB				20 MIN. RATED
9	MEN'S TOILET	3'-0" x 6'-8"	SUG.	UD.	S E		BB				20 MIN. RATED
10	WOMEN'S TOILET	3'-0" x 6'-8"	SUG.	UD.	S E		BB				20 MIN. RATED
11	JANITORS	3'-0" x 6'-8"	SUG.	UD.	S E		BB				
12	SECRETARY OFFICE	3'-0" x 6'-8"	SUG.	UD.	S A		CC				20 MIN. RATED
13	PASTOR OFFICE	3'-0" x 6'-8"	SUG.	UD.	S A		BB				20 MIN. RATED
14	CLASS ROOM #2	3'-0" x 6'-8"	SUG.	UD.	S A		BB				20 MIN. RATED
15	CORRIDOR	3'-0" x 6'-8"	SUG.	MET.	H F		BB				
16	CLASS ROOM #3	3'-0" x 6'-8"	SUG.	UD.	S A		BB				20 MIN. RATED

(N.I.C.)  
(N.I.C.)  
(N.I.C.)  
(N.I.C.)

LEGEND OF ABBREVIATIONS

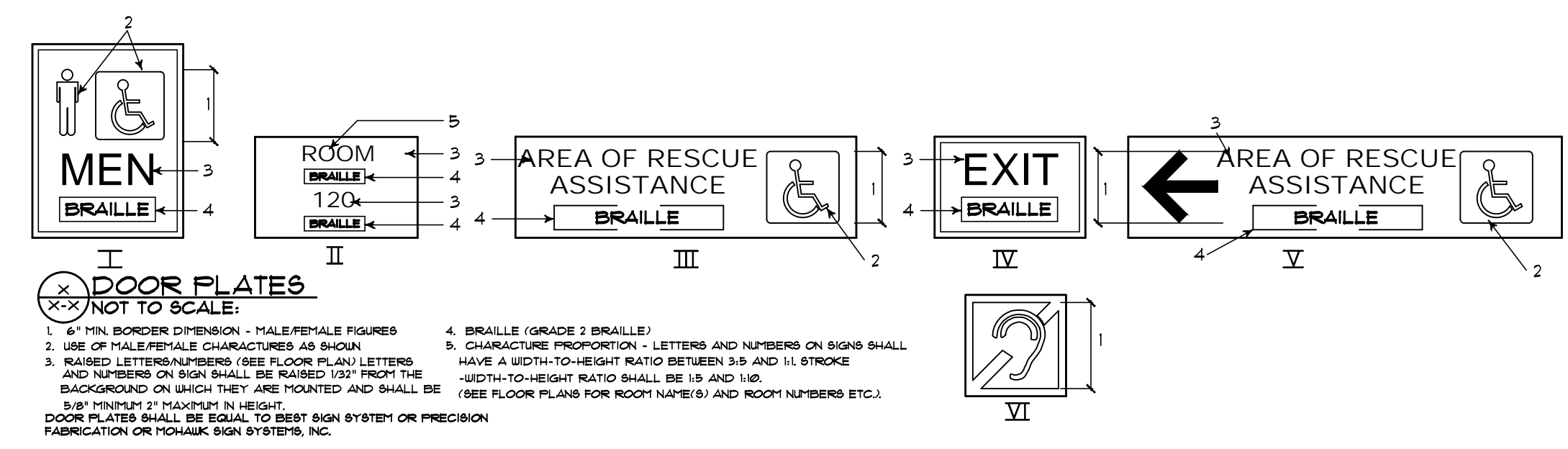
SUG.	BUNG DOOR	H	HOLLOW METAL (INSULATED)	OV.	OVER-HEAD DOOR
F.P.	FOLDING PARTITION	S	SOLID	EXST.	EXISTING
UD.	WOOD	S.S.	STAINLESS STEEL	(N.I.C.)	NOT IN CONTRACT
MET.	METAL	RUL.	ROLL UP	RM.	ROOM
ALUM.	ALUMINUM	GLA.	GLASS	HR.	HOUR
B	"B" LABEL DOOR AND FRAME	HC.	HONEYCOMB	MIN.	MINUTES

I, II, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII (DOOR PLATE)

ROOM FINISH SCHEDULE

ROOM NUMBERS	ROOM NAME	FLOOR	BASE	WAINSCOT	WALL	CEILING	COUNTERTOPS	PARTITIONS	REMARKS
01	LOBBY								
02	MULTI-PURPOSE ROOM		CARPET VINYL WOOD PLANK EXISTING CONCRETE VCT						
03	KITCHEN		CERAMIC TILE QUARRY TILE BRICK PAVERS						
04	PANTRY		INTERIOR FINISH CLASSIFICATION COLOR / DESIGN MANUFACTURER						
05	CHAIR & TABLE STORAGE		CARPET (GPT) CERAMIC TILE RUBBER WOOD						
06	MECHANICAL EQUIPMENT		EXISTING INTERIOR FINISH CLASSIFICATION COLOR / DESIGN MANUFACTURER						
07	COMMUNITY PANTRY		CERAMIC TILE (SEE SHEET ) WOOD PANELING PAINT *						
08	YOUNGER CHILDREN CLASS ROOM #1		INTERIOR FINISH CLASSIFICATION COLOR / DESIGN MANUFACTURER		MASONRY BLOCK GYPSUM BOARD BRICK 1/2" PL WOOD				
09	MEN'S TOILET								
10	WOMEN'S TOILET								
11	JANITOR								
12	SECRETARY								
13	PASTOR								
14	CLASS ROOM #2								
15	CORRIDOR								

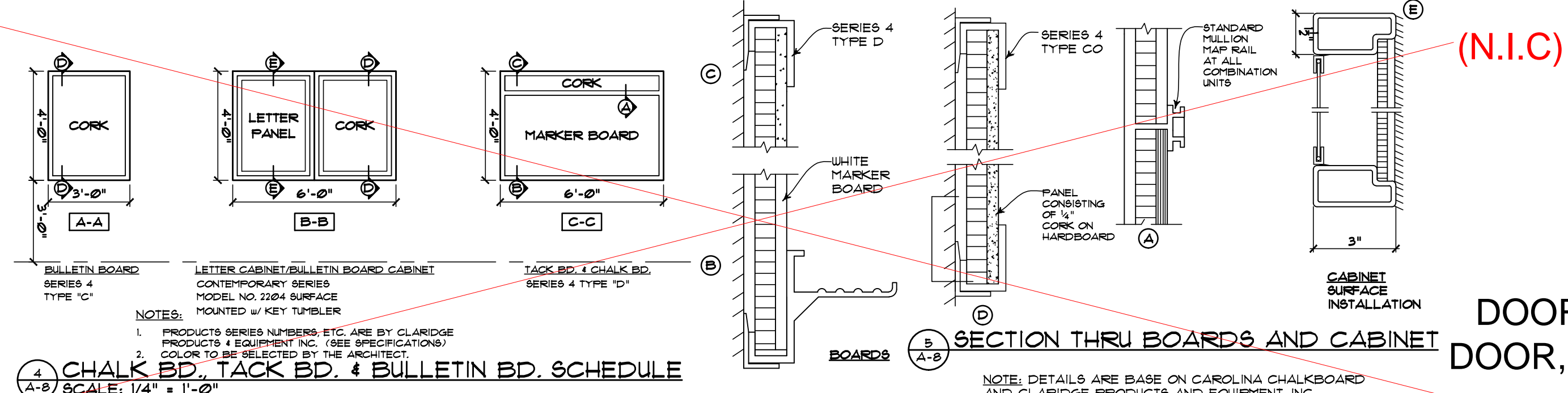
NOTE:-  
1. VINYL WOOD PLANK FLOORING SHALL BE INSTALLED THRU OUT MULT-PURPOSE ROOM PRIOR TO INSTALLATION OF PLATFORM (FULTIP AREA).  
INSTALLED PLATFORM AND RAMP SHALL RECEIVE CARPET FOR FLOOR FINISH (BASE NOT REQUIRED).  
2. PROVIDE 1 HOUR CORRIDOR FIRE PROTECTION RATING BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS.  
3. DOORS BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS SHALL BE RATED AT 20 MIN.



DOOR PLATES  
NOT TO SCALE:

1. 6" MIN. BORDER DIMENSION - MALE/FEMALE FIGURES  
2. USE OF MALE/FEMALE CHARACTERS AS SHOWN  
3. RAISED LETTERS/NUMBERS (SEE FLOOR PLAN) LETTERS AND NUMBERS ON SIGN SHALL BE RAISED 1/32" FROM THE BACKGROUND ON WHICH THEY ARE MOUNTED AND SHALL BE 3/8" MINIMUM 2" MAXIMUM IN HEIGHT  
DOOR PLATES SHALL BE EQUAL TO BEST SIGN SYSTEM OR PRECISION FABRICATION OR POLYMARK SIGN SYSTEMS, INC.

4. BRAILLE (GRADE 3 BRAILLE)  
5. CHARACTER PROPORTION - LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1. STROKE WIDTH-TO-HEIGHT RATIO SHALL BE 1:5 AND 1:6 (SEE FLOOR PLANS FOR ROOM NAME(S) AND ROOM NUMBERS ETC.)



4 CHALK BD., TACK BD., & BULLETIN BD. SCHEDULE  
SCALE: 1/4" = 1'-0"

5 SECTION THRU BOARDS AND CABINET  
SCALE: 1/4" = 1'-0"

NOTE: DETAILS ARE BASE ON CAROLINA CHALKBOARD AND CLARIDGE PRODUCTS AND EQUIPMENT, INC.

DOOR, WINDOW AND FRAME ELEVATIONS,  
DOOR, FRAME AND HARDWARE SCHEDULE,  
ROOM FINISH SCHEDULE  
AND BOARD SCHEDULE AND SECTIONS

REVISIONS

DATE	REVISIONS

JOB NO. G-345  
DATE 2-10-2026  
DRAWN BY  
CHECKED BY

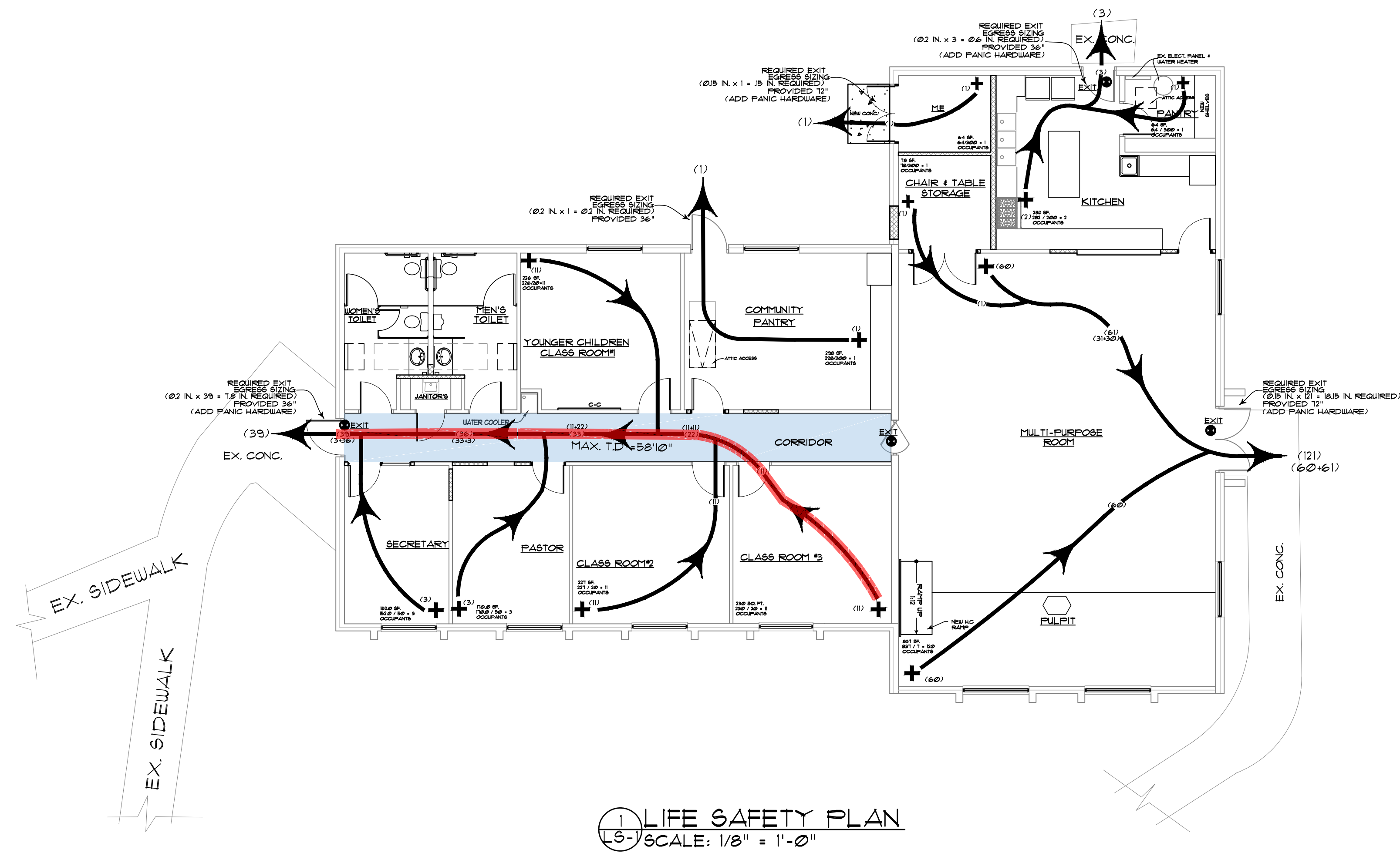
RENOVATIONS TO  
CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH  
3709 Groomtown Rd,  
Greensboro, NC 27407

CLINTON E. GRAVELY A.I.A.  
ARCHITECT / ASSOCIATES  
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CLINTON E. GRAVELY A.I.A.  
REGISTERED ARCHITECT  
NORTH CAROLINA  
MEMBER STATE ARCHITECTS ASSOCIATION

SHEET  
A-8  
OF  
8

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**LIFE SAFETY PLAN**  
 SCALE: 1/8" = 1'-0"

**EXIT REQUIREMENTS  
 NUMBER AND ARRANGEMENT OF EXITS**

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM <sup>2</sup> NUMBER OF EXITS		TRAVEL DISTANCE	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1017.2)	MAXIMUM ACTUAL TRAVEL DISTANCE SHOWN ON PLANS
FIRST STORY	2	4	200'	64'

TOTAL OCCUPANT LOAD  
 BUILDING APPROXIMATELY  
 165

**FLOOR AREA ALLOWANCE PER OCCUPANT**

MULTI-PURPOSE ROOM (ASSEMBLY WITHOUT FIXED SEATS)	1 NET
KITCHEN	200 gross
CLASS ROOM	20 NET
STORAGE	300 gross
OFFICE	50 gross
MECHANICAL ROOM	300 gross

**LEGEND OF ABBREVIATIONS**  
 MAX. • MAXIMUM  
 T.D. • TRAVEL DISTANCE

**KEY TO FLOOR PLANS**

	EXIT SIGN
	EGRESS PATH
	MAX. EGRESS PATH

- NOTE:**
- PROVIDE 1 HOUR CORRIDOR FIRE PROTECTION RATING BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS
  - DOORS BETWEEN CORRIDOR AND ADJACENT ROOMS/AREAS SHALL BE RATED AT 20 MIN.

**NOTE:**  
 PLEASE REFER SHEET A-1 FOR MULTI-PURPOSE ROOM OCCUPANTS LOAD

REVISIONS	DATE	JOB NO. G-345	DATE APRIL, 2024	RENOVATIONS TO CELIA PHELPS MEMORIAL UNITED METHODIST CHURCH			
		DRAWN BY	CHECKED BY	3709 Groometown Rd, Greensboro, NC 27407			
CLINTON E. GRAVELY, A.I.A. ARCHITECT ASSOCIATES / ARCHITECTS PLANNERS 374 WEST WENDOVER AVENUE SUIT 11 GREENSBORO, NORTH CAROLINA 27407 (336) 275-6183 FAX (336) 275-9885 info@clgravelyarchitect.com							
				<b>SHEET LS-1</b> OF 1			
<b>LIFE SAFETY PLAN</b>							

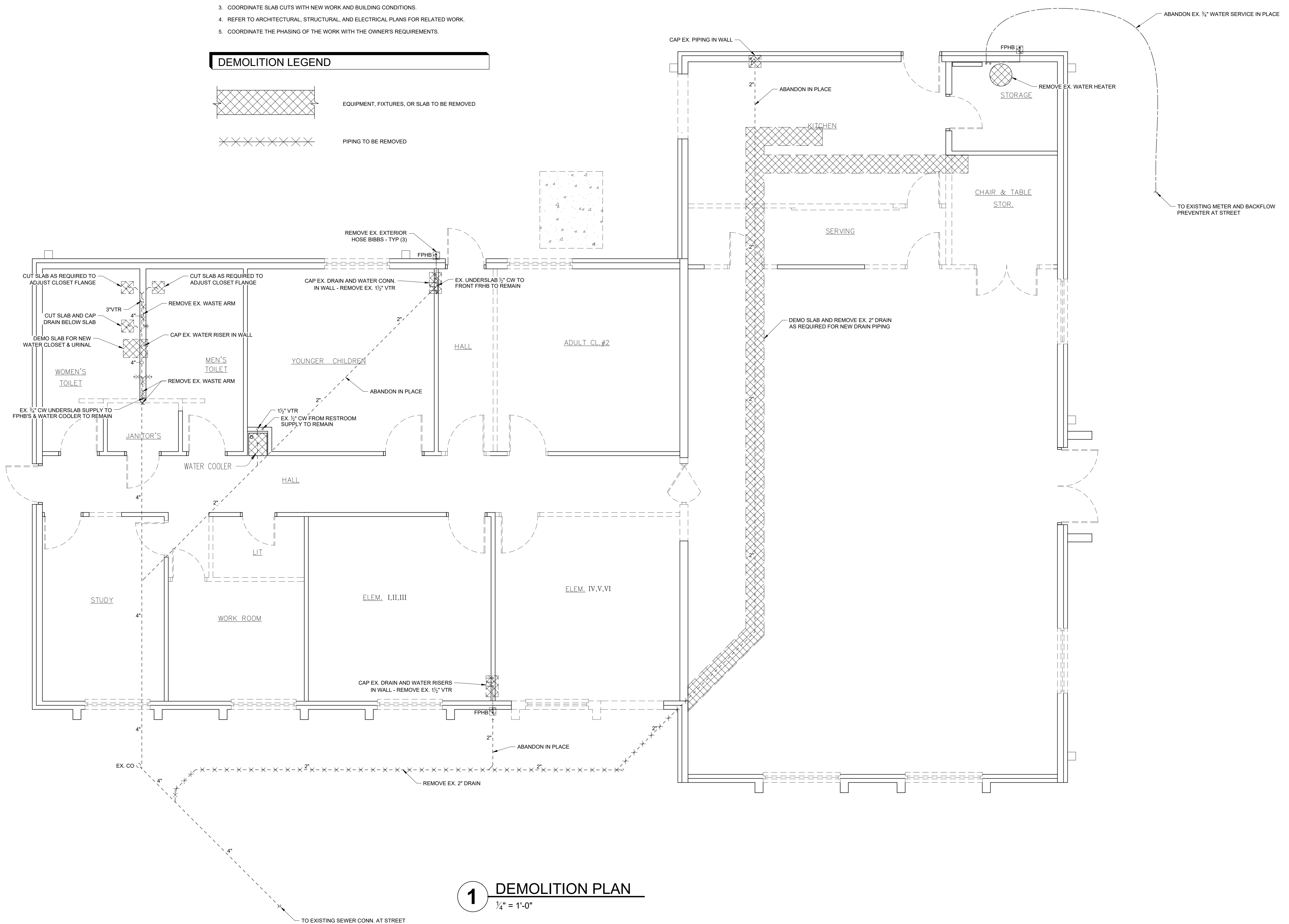
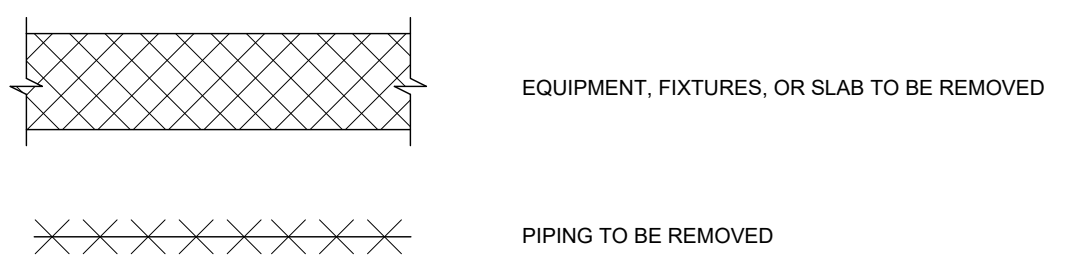




**NOTES**

1. REMOVE EXISTING WATER HEATER.
2. CAP EXISTING PLUMBING WHERE SHOWN.
3. COORDINATE SLAB CUTS WITH NEW WORK AND BUILDING CONDITIONS.
4. REFER TO ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL PLANS FOR RELATED WORK.
5. COORDINATE THE PHASING OF THE WORK WITH THE OWNER'S REQUIREMENTS.

**DEMOLITION LEGEND**



**1 DEMOLITION PLAN**  
1/4" = 1'-0"

**R. C. PRITCHARD**  
ENGINEERING SERVICES  
212 KIRK ROAD  
GREENSBORO, NC 27455  
336-382-3831  
rpritchardpe@gmail.com

FOR CONSTRUCTION  
NORTH CAROLINA PROFESSIONAL SEAL 18989  
04/03/2024

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CELIA PHELPS UMC  
RENOVATIONS  
3709 GROOMTOWN ROAD  
GREENSBORO, NORTH CAROLINA

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E-MAIL ADDRESS info@cgravelyarchitect.com

#	DATE	DESCRIPTION

PROJECT #:	2023-0105
PROJECT #:	G-945
SCO ID:	NA
SCALE:	AS NOTED
DRAWN BY:	RCP
CHECKED BY:	RCP
DATE:	04/03/2024

DEMOLITION PLAN



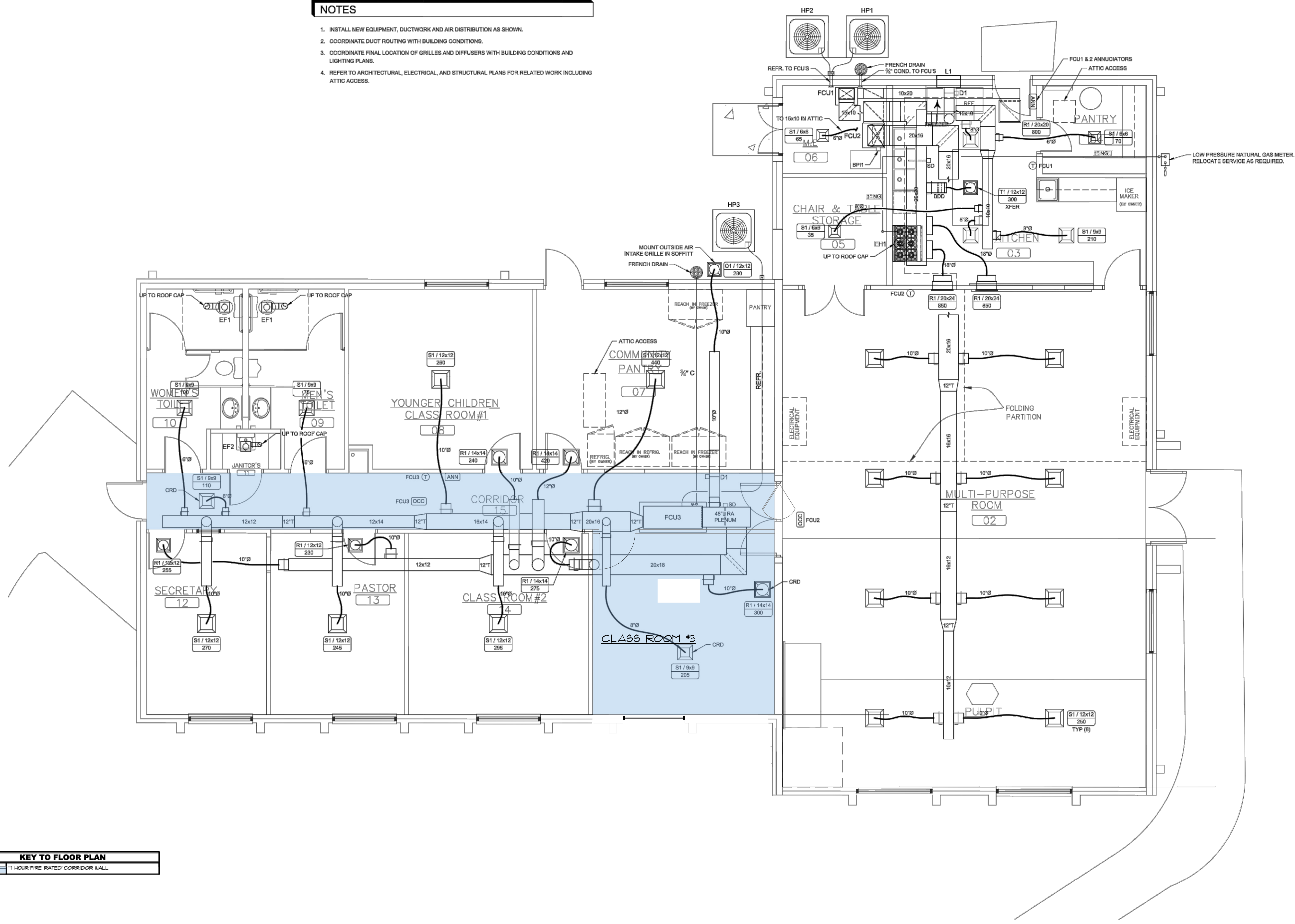






**NOTES**

1. INSTALL NEW EQUIPMENT, DUCTWORK AND AIR DISTRIBUTION AS SHOWN.
2. COORDINATE DUCT ROUTING WITH BUILDING CONDITIONS.
3. COORDINATE FINAL LOCATION OF GRILLES AND DIFFUSERS WITH BUILDING CONDITIONS AND LIGHTING PLANS.
4. REFER TO ARCHITECTURAL, ELECTRICAL, AND STRUCTURAL PLANS FOR RELATED WORK INCLUDING ATTIC ACCESS.



**KEY TO FLOOR PLAN**  
 1 HOUR FIRE RATED CORRIDOR WALL

NOTE:-  
 All drywall at ceilings and corridor shall be 5/8" Type 'X'

**1 MECHANICAL PLAN**  
 1/4" = 1'-0"

**R. C. PRITCHARD**  
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 212 KIRK ROAD  
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 336-382-3831  
 rcp@pritchardpe@gmail.com



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 04/03/2024

**CELIA PHELPS UMC**  
 RENOVATIONS  
 3709 GROOMETOWN ROAD  
 GREENSBORO, NORTH CAROLINA

**CLINTON E. GRAVELY A.I.A.**  
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 FAX (336) 275-9885  
 E-MAIL ADDRESS info@gravelyarchitect.com

#	DATE	DESCRIPTION

PROJECT #: 2023-0105  
 APROJECT #: G-945  
 SCO ID: NA  
 SCALE: AS NOTED  
 DRAWN BY: RCP  
 CHECKED BY: RCP  
 DATE: 04/03/2024

MECHANICAL PLAN



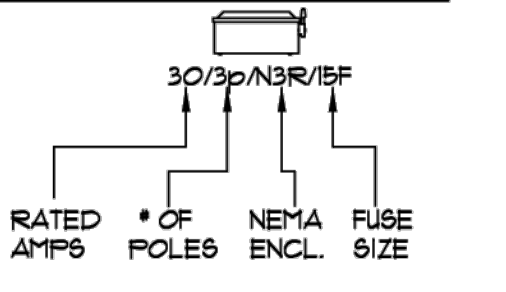
**ELECTRICAL NOTES**

- ALL WORK UNDER THIS SECTION SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH STATE BUILDING CODES AND THE NATIONAL ELECTRIC CODE.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVAL, OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED FOR THE INSTALLATION OF THEIR WORK.
- THE DRAWINGS ARE DIAGRAMMATIC ONLY. THE CONTRACTOR MAY NEED TO MAKE FIELD ADJUSTMENTS TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THE GENERAL CONSTRUCTION OF THE BUILDING, FOR FLOORS AND CEILING HEIGHTS, FOR LOCATIONS OF WALLS, PARTITIONS, BEAMS, ETC.
- ALL WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND OTHER TRADES INVOLVED IN THE CONSTRUCTION PROJECT. ALL WORK SHALL BE CAREFULLY LAID OUT IN ADVANCE TO COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL FEATURES OF CONSTRUCTION.
- A GREEN INSULATED COPPER GROUND WIRE, SIZED PER NEC, SHALL BE INSTALLED IN ALL RACEWAYS OTHER THAN SERVICE ENTRANCE WIRING, METALLIC OR NON-METALLIC.
- COLOR FOR DEVICES SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR.
- RECEPTACLES SHALL COMPLY WITH UL STANDARD 498, "ELECTRICAL ATTACHMENT PLUGS AND RECEPTACLES," HEAVY-DUTY GRADE 20 AMP RATED EXCEPT AS OTHERWISE INDICATED.
- GROUND-FAULT CIRCUIT INTERRUPTER (GFI) RECEPTACLES SHALL COMPLY WITH UL STANDARD 943, "GROUND FAULT CIRCUIT INTERRUPTERS," WITH INTEGRAL NEMA 5-20R DUPLEX RECEPTACLE.
- MARK ALL DEVICES AS TO WHICH PANEL AND CIRCUIT THEY ARE CONNECTED.
- ELECTRICAL SERVICE IS (EXISTING) 120/208V THREE PHASE, 4 WIRE PANELS. E.C. SHALL PAY FOR ALL REQUIRED LICENSED, PERMITS, FEES, ETC. NECESSARY TO OBTAIN ELECTRIC SERVICE. VERIFY SIZE AND LOCATION OF EXISTING CONDUITS WITH FACILITY AND UTILITY COMPANY PRIOR TO START OF CONSTRUCTION.
- ALL WIRING FOR EQUIPMENT SHALL BE COPPER WITH ONE OF THE FOLLOWING TYPES OF INSULATION: THW, THWN, THHN WITH A RATING OF AT LEAST 75 DEG. C.
- BACK TO BACK DEVICES LOCATED IN RATED WALLS SHALL BE SEPARATED BY A DISTANCE OF AT LEAST 24" HORIZONTALLY.
- FINAL LOCATIONS OF ALL EXIT AND EMERGENCY LIGHTS SHALL BE VERIFIED WITH THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
- WIRING SHALL BE INSTALLED IN EMT CONDUIT OR, WHERE APPROVED, IN METAL-CLAD (MC) CABLE WITH INTEGRAL GREEN GROUND CONDUCTOR. CONDUIT IS TO BE INSTALLED PARALLEL OR AT 90deg TO BUILDING WALLS AND INSTALLED IN A WORKMAN-LIKE MANNER. CONNECTION TO EQUIPMENT SHALL BE WITH LIQUID TIGHT FLEXIBLE METAL CONDUIT, WHERE VIBRATION OR ROUTING IS A CONCERN. USE APPROPRIATE NEMA ENCLOSURES FOR JUNCTION BOXES AND DEVICES, INDOOR AND OUTDOOR.

**SYMBOL SCHEDULE**

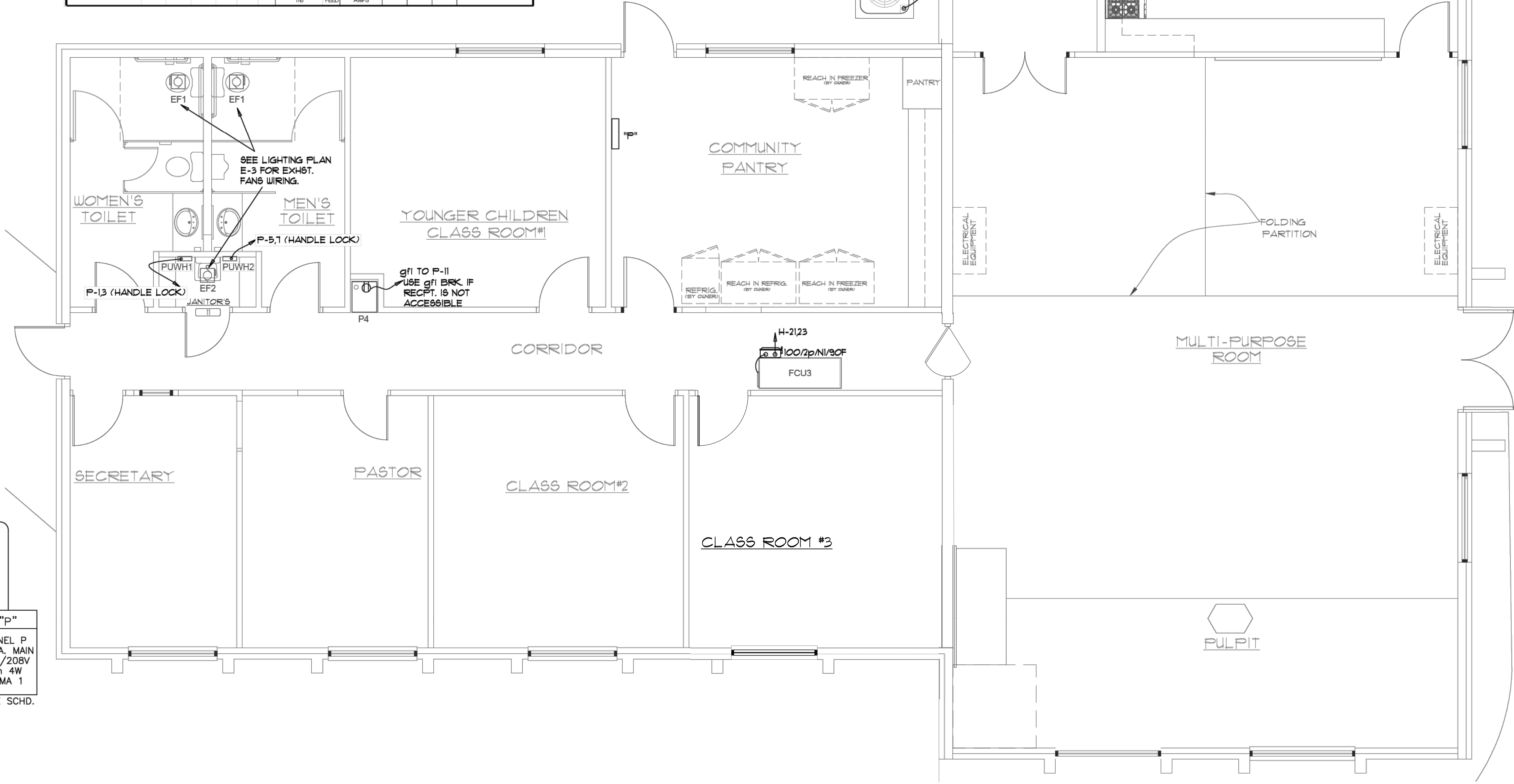
- SWITCHED CIRCUITS (LIGHTING, ETC.)
- (HOME RUNS) CONDUIT CONCEALED ABOVE CEILING AND/OR IN WALLS OR EXPOSED, WHERE ALLOWED. 2#12 & #12EG, UNLESS NOTED.
- CONNECTIONS BETWEEN JUNCTION BOXES AND SWITCHES TO DISTRIBUTE HOME RUNS - 2#12 & #12EG, UNLESS NOTED.
- ⊙ DEDICATED 20A DUPLEX RECEPTACLE MOUNTED 16" AFF UNLESS OTHERWISE NOTED
  - ⊕ 20A DUPLEX RECEPTACLE MOUNTED 16" AFF UNLESS OTHERWISE NOTED
  - ⊕ 20A QUAD RECEPTACLE MOUNTED 16" AFF UNLESS OTHERWISE NOTED
  - ⊙ 240V 1ph RECEPTACLE
  - ⊙ 240V 3ph RECEPTACLE
  - ⊙ FLOOR-MOUNTED RECEPTACLE
  - ⊙ 20A SINGLE POLE SWITCH MOUNTED 46" AFF UNLESS OTHERWISE NOTED
  - ⊙ 20A THREE WAY SWITCH MOUNTED 46" AFF UNLESS OTHERWISE NOTED
  - ⊙ SINGLE DATA JUNCTION BOX WITH 3/4" EMT TO ABOVE CEILING. CABLE(S) BY OTHERS
  - ⊙ (DUAL) DUPLEX DATA JUNCTION BOX WITH 1" EMT TO ABOVE CEILING. CABLE(S) BY OTHERS
  - ⊙ JUNCTION OR PULL BOX, SIZE AS INDICATED OR REQUIRED
  - ⊙ SAFETY SWITCH, SEE NOTE ON PLAN
  - ⊙ MOLDED CASE CIRCUIT BREAKER
  - ⊙ MOTOR CONNECTION, NUMBER INDICATES HORSEPOWER
  - ⊙ METER BASE

**SAFETY SWITCH KEY**

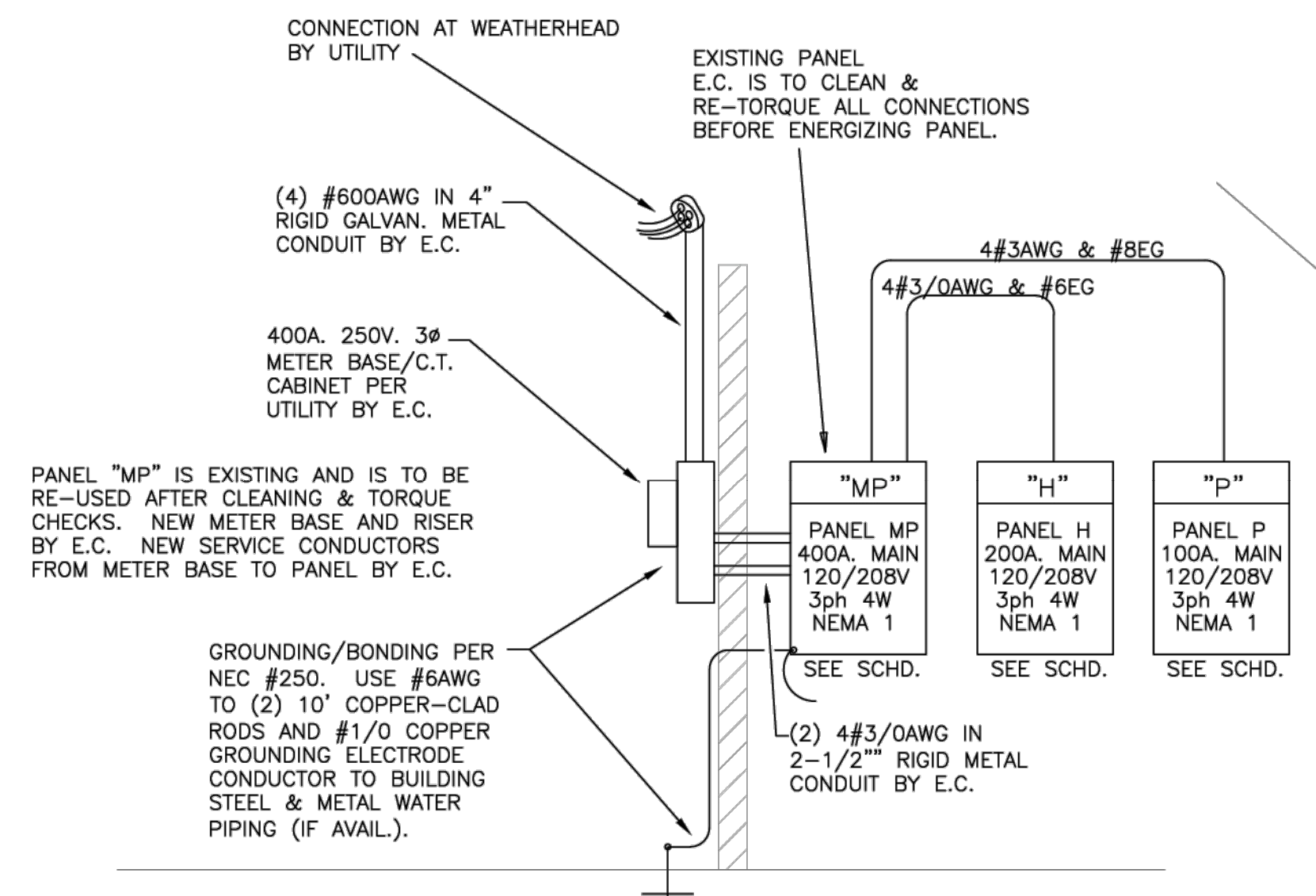


MP	MAKE	G.E.	EXT'D	RATING	120/208V 3PH 4W				MAN/LOG ONLY OR MAIN BRK				400A MAIN BREAKER				
					LOAD TYPE	WIRE	PHASE	SIZE	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.
PANEL "P" (PANTRY)	71.6	#3	3	1	2	40	#6	26.4	26.4								
FREEZER	83.5	#3	7	1	8	50	#6	35	26.4								
REFRIGERATOR	8	#12	20	11	12	20	#12	9									
COSHWASHER	8	#12	20	13	14	20	#12	6									
MULTI-PURP RECPTS	8	#12	20	15	16	20	#12	6									
MULTI-PURP RECPTS	8	#12	20	17	18	20	#12	5									
				19	20	20	#12	5									
				20	21	20											
				20	23	20											
				20	25	20											
				20	27	20											
				20	29	20											
				20	31	20											
				20	33	20											
				20	35	20											
				20	37	20											
				20	39	20											
				20	41	20											
REMARKS	71.5	87.6	71.7	41	400A AL	BLK	200	199.4	198.4								

H	MAKE	G.E.	EXT'D	RATING	120/208V 3PH 4W				MAN/LOG ONLY OR MAIN BRK				200A MAIN BREAKER				
					LOAD TYPE	WIRE	PHASE	SIZE	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.
HP-1	11	#10	25	1	2	20	#12	5	5								
HP-2	11	#10	3	1	4	20	#12	5	5								
SPARE	28	#6	60	5	6	20											
FCU-1	24	#10	30	13	14	20											
FCU-2	64	#3	50	17	18	20											
FCU-3	64	#3	50	21	22	20											
HP-3	28	#6	60	25	26	20											
				27	28	20											
				29	30	20											
				33	34	20											
				35	36	20											
				37	38	20											
				39	40	20											
				41	42	20											
REMARKS	155	127	156	41	200A AL	BLK	155	127	156								



DEMO NOTE: REMOVE EXISTING 12-CKT. 1ph PANEL LOCATED ADJACENT TO EXISTING PANEL "MP"



**RISER DIAGRAM**

SCALE: NONE

**1 POWER DISTRIBUTION & HVAC WIRING PLAN**  
E1-01 SCALE: 1/4" = 1'-0"

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DESCRIPTION	DATE
PROJECT #:	24026
APROJECT #:	NA
SCO ID:	NA
SCALE:	AS NOTED
DRAWN BY:	DOC
CHECKED BY:	DOC
DATE:	04/03/2024

**POWER PLAN**



